



Jackson Township

Franklin County, Ohio

Zoning Commission

Rezoning **2-RZ-2024**
Applicant: Spartak Selmiaj
Property: 1696 Dyer Road, (parcel #160-000860)
Acreage: 10.05 acres
Utilities: Onsite Well and septic
Request: To amend Exceptional Use District

Background

- Franklin County Planning Commission recommended the Township approve the 2015 rezoning to the Exceptional Use (EU) district for the development of a golf course in May of 2015.
- Jackson Township approved rezoning from the Semi-Rural (SR) Residential district to the Exceptional Use (EU) district in 2015.
 - The approved permitted uses were:
 - Single Family residence
 - Exterior:
 - Year-round foot golf, weather permitting; Friday night glow-in-the-dark foot golf, Pro-Am tournaments, corporate outings, charitable functions
 - Food trucks are permitted as a temporary activity
 - The outdoor activities will operate seven (70 days a week starting at 6 a. m. and on certain nights of the week will continue until midnight (on Friday and Saturdays) and 8 p.m. on other nights.
 - Interior:
 - Workout facilities or sports training, including but not limited to soccer and baseball training and practice, a clubhouse with retail space indoor/outdoor seating with televisions and vending machines.
 - The indoor activities will operate seven (7) days a week starting at 6 a.m. and on certain nights of the week will continue until midnight.

Surrounding Zoning and Land Use

Direction	Zoning	Land Use
North	Suburban Residential (Jackson Twp.)	Single-Family Home; Vacant
East	Rural(Columbus); Suburban Residential (Jackson Twp.)	Single-Family Home
South	Rural (Columbus)	Manufactured Home Park; Single-Family Home
West	Suburban Residential (Jackson Twp.)	Single-Family Home

Comprehensive Plan

The Southwest Area Plan, a joint planning venture between the City of Columbus, Jackson Township and Franklin Township, was adopted in 2009, and makes future land use recommendations for the subject site and the surrounding area. According to the future land use map, the site and surrounding area are recommended to remain designated for semi-rural residential purposes.



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It is also important to note that the Southwest Area Plan future land use map specifically recommends several areas for public parks and recreational areas such as playgrounds, sports fields and buildings commonly associated with the principal activity, including recreation centers.

The Jackson Township Comprehensive Plan (2011) also recommends semi-rural residential for the subject property. The Plan also highlights the public's interest in additional recreational facilities. According to the plan, approximately 75% of residents view recreational facilities as a positive aspect of living in the township and this type of development is consistent with Goal C of the plan. The plan recommends another nearby site, located along I-270, I-71, and Jackson Pike as an area for development of park space. That site is currently owned by the Franklin County Regional Solid Waste Management.

The proposed rezoning will not comply with the associated land use plans for the area.

Formal Technical Review

Franklin Soil and Water Conservation District

The Franklin Soil and Water Conservation District requested design details for all new playing fields. Information on grading, subsurface drainage, and type of turf (artificial or natural) were not provided. A stormwater report and a new post-construction operation and maintenance (O&M) plan that includes all stormwater control practices (existing and proposed) should be provided.

Franklin County Engineer

The Franklin County Engineer's Office requested the following:

- Development text pertaining to the current proposal to determine what changes to the site are occurring.
- Drainage improvements to comply with the Franklin County Stormwater Drainage Manual.
- Access study to be completed to assess the sight distance and whether turn lanes are needed at the access point.

Franklin County Planning Department

The submission lacks the development text and related detail in the development plan identifying the full extent of development associated with the proposed change of use. Details on lighting, landscaping, trash collection facilities, and utilities are missing. The development plan does not meet the standard dimensions for parking spaces dimension or internal parking lot landscaping requirements. Also, staff has concerns regarding potential negative light, noise, and traffic impacts to the surrounding properties. Furthermore, the submission did not address traffic, stormwater and noise impacts, or detail hours of operations.

Zoning District Requirements

The provisions of the General Development Standards of the Jackson Township Zoning Resolution shall apply to the Exceptional Use (EU) district. Due to the unique nature of such uses and because their locations cannot be readily predetermined, more specific development standards



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cannot be set forth. Therefore, full usage of the development standards and other provisions of the zoning resolution shall be used as appropriate and detailed in a Development Plan. The Development Plan shall include the following in text or map form:

Development Plan

1. The proposed location and size of areas of use, indicating size, location and type of structure.
 - a. *The revised development plan includes details of two proposed structures. Both proposed structures are 12,000 square feet (96' x 125'). The existing 12,800 square foot (80' x 160') structure is proposed to continue to be used for indoor sporting activities.*
 - b. *New Structures*
 - i. *Construction Type: 1-B*
 - ii. *Primary Structural Frame: 2 hour rated (intumescent paint or fireproofing)*
 - iii. *Maximum Height: 160'*
 - iv. *Maximum Stories: 11*
 - v. *Maximum Area: 12,000 SF*
 - vi. *Maximum Field Size: 95 x 120*
2. The proposed location, size and use of all open areas landscaped and other open space with suggested ownership of such area.
 - a. *The revised development plan removes the outdoor athletic fields.*
 - b. *The existing tree canopy to be preserved where possible.*
 - c. *36" tall coniferous shrubs are proposed along the perimeter of the existing and proposed parking areas.*
3. The proposed provision of water, sanitary sewer and surface drainage facilities including engineering feasibility studies.
 - a. *The site receives public water service from the City of Columbus.*
 - b. *An existing on-site septic system is available to manage wastewater. Upgrades to the system to accommodate additional site occupants will be reviewed and permitted by Franklin County Public Health.*
 - c. *Stormwater is to be managed by an on-site detention pond which will require compliance with the Franklin County Stormwater Drainage Manual.*
 - i. *The development proposes a second Stormwater detention area to the north and east of the existing detention basin. It is unclear if both detention basins will be tied into each other or will have separate outlets.*
4. The proposed circulation pattern including streets, both public and private, parking areas, walks and other access ways including their relation to topography, existing streets and other evidence of reasonableness.



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- a. *The site has a previously approved access from Dyer Road from Jackson Township. Additional parking facilities are proposed to accommodate patron use of the proposed buildings.*
 - b. *Jackson Township Planning Department will confirm required parking is provided through their zoning compliance review. The required number of spaces have been provided on the plan; however, the spaces do not meet the minimum dimensional Township requirements of 10 ft. by 20 ft.*
 - c. *A traffic impact analysis will be required and be reviewed by the Franklin County Engineer prior a certificate of zoning compliance by Jackson Township.*
 - d. *Lighting*
 - i. *All new lighting on the subject property shall be cut-off type fixtures (down lighting) and limited to the building, patio, and parking areas unless located for landscaping and security purposes.*
 - ii. *All types of parking, building and other exterior lighting to be on poles shall be from the same “family” from the same manufacturer’s type and style.*
 - iii. *All lighting poles shall be either of wood or dark or bronze metal construction.*
 - iv. *Parking lot lighting shall not exceed twelve (12) feet in height.*
 - v. *The exterior lighting for the site shall minimize off-site glare and reflection by utilizing screening, direction of lighting, height of lighting, wattage, and type of lighting.*
5. The proposed schedule of site development and construction of buildings and associated facilities including sketches or other documentation indicating design principles or concepts for site development, buildings, landscapes or other features. Such schedule shall include the use or redevelopment of existing features such as structures, streets, easements, utility lines and land use.
- a. *No development text has been provided to elaborate on the proposed rezoning and development. A development plan showing the location of the proposed indoor facilities has been included in submitted material. A schedule on the proposed development at the site, stormwater drainage plans, access impact study, or landscaping plans has not been provided.*
 - b. *Elevation designs of the proposed buildings were provided. It is unclear the exterior design and color of the proposed buildings.*
 - c. *No statement of future land use of the area north of the proposed buildings.*
6. The relationship of the proposed development to the existing and future land use in the surrounding area, the street system, community facilities, land services and other public improvements.
- a. *The request will not match the residential character of the surrounding area and the future land use recommendation of the Southwest Area Plan and Jackson Township Comprehensive Plan.*



Jackson Township Franklin County, Ohio Zoning Commission

7. Evidence that the applicant has sufficient control over the land to effectuate the proposed Development Plan within three (3) years. Such control includes property rights, economic resources and engineering feasibility as may be necessary.
 - a. *The applicant has provided evidence of ownership. The engineering feasibility is to be approved by the Franklin County Engineer's Office. There is an assumption that the applicant has access to the economic resources necessary to implement the proposed uses.*

Staff Analysis

Basis of Approval – Exceptional Use District

1. That the proposed development is consistent in all respects to the purpose intent and applicable standards of this Zoning Resolution (Jackson Township Zoning Resolution).
 - a. *The EU district is intended to allow for uses not otherwise permitted in the Zoning Resolution inclusive of social, recreational, transportation, and other uses to service the public. Although the proposal is a recreational activity by definition, soccer is not specifically recognized by the zoning resolution similar to golf.*
 - b. *Development details such as an access impact study, stormwater drainage plan, signage, lighting, landscaping types, and trash maintenance are not included in the submission. Staff is unable to determine whether the site's proposed use can functionally operate at the location without affecting the surrounding roadways and adjacent residential properties.*
2. That the proposed development is in conformity with the Jackson Township Comprehensive Plan or a portion thereof as it may apply.
 - a. *The recommended land use for the area south of Hardy Parkway Street, west of I-71, and north of I-270 is predominantly residential. The rezoning of the site will not align with the recommended land use for the Southwest Area or Jackson Township plans.*
3. That the proposed development advances the general welfare of the Township and that the benefits to be derived from the proposed use justifies the change in the land use character of the area.
 - a. *The surrounding character of the area can benefit from the proposed use; however, the welfare of the surrounding community is unable to be determined without sufficient development details.*

Franklin County Planning Staff Recommendation:

County Planning Staff recommended to the Franklin County Planning Commission denial of a rezoning modification of the subject property from the Exceptional Use (EU) District permitting recreational golf to the Exceptional Use (EU) District permitting an indoor soccer sports facility for the following reasons:

1. Insufficient stormwater management details and calculations have not been provided.
2. No information has been provided detailing hours of operations.
3. No traffic impact analysis has been provided.



Jackson Township Franklin County, Ohio Zoning Commission

4. Noise mitigation has not been addressed.
5. No lighting details have been provided.
6. No updates to the approved development text have been provided.
7. Inconsistency of the proposed use with approved comprehensive plans.
8. Buffering and screening against adjacent residential properties has not been provided.

Franklin County Planning Commission

The Franklin County Planning Commission recommended Approval to modify the Exceptional Use (EU) zoning district for the proposed land use.

Jackson Township Zoning Staff Recommendation

Jackson Township Zoning Staff has concerns regarding insufficient information, or additional information needed from the applicant. Staff recommends approval subject to the following conditions are met.

1. Provide a detailed development text prior to Township Trustee public hearing.
2. Provide a detailed buffering and screening along adjacent residential properties.
3. Provide proposal to minimize traffic headlight impact to 1695 Dyer Road.
4. Items prior to Zoning Compliance Certificate:
 - a. Stormwater management details and calculations are submitted to and approved by the Franklin County Engineer.
 - b. A completed traffic impact analysis is submitted to and approved by the Franklin County Engineer.

Attachments:

- Rezoning Application
- Revised Development Plan
- Zoning Map

Fee Paid by Cash / Check # _____

Application # -CU-20

APPLICATION FOR CONDITIONAL USE

JACKSON TOWNSHIP BOARD OF ZONING APPEALS

3756 Hoover Road
Grove City, OH 43123 614-875-2742

Property Owner: Timothy & Jeanette Houston Applicant: Shad Morris

Address: 1927 London Groveport Rd. Zoned: Residential

PID: 160-001639-00 Area/Acres: 1.61 Floodplain: N/A

(Home): _____ (Work): _____ (Cell): 614-260-3421

Email Address: shad_morris@yahoo.com

Summary of Conditional Use: It is recognized that while some uses within a particular Zoning District may be desirable, such uses may more intensely affect the surrounding area in which they are located than the Permitted Uses. Conditional Uses (also known as "special use permits") are uses or activities unique to an individual property in a Zoning District that may have a significant impact and thus require an administrative hearing before the Board of Zoning Appeals. A Conditional Use may not be transferable to future owners.

To the Board of Zoning Appeals, the applicant requests Conditional Use for the following:

- | | | |
|--|--|--|
| <input type="checkbox"/> Bed & Breakfast Inn | <input type="checkbox"/> Child Care Center | <input type="checkbox"/> Religious Use |
| <input type="checkbox"/> Cellular Tower | <input type="checkbox"/> Elderly Care | <input type="checkbox"/> Home Occupation |
| <input type="checkbox"/> Cemetery | <input checked="" type="checkbox"/> In-Law Suite | <input type="checkbox"/> Zoning Use -OTHER |

Requesting the following Conditional Use (be specific):

WE ARE REQUESTING APPROVAL FOR ELDERLY FAMILY THAT NEED OUR ASSISTANCE ON A DAY TO DAY BASIS.

Under Ohio Law (519.14) the Board of Zoning Appeals may only approve a Conditional Use only for the specific uses mentioned in the Township's Zoning Resolution. Each application is reviewed on its own merits for generally acceptable standards such as traffic, safety, noise, health, compatibility to the area or zoning district.

1. Describe special conditions and circumstances which may exist which are unique to the land, structures or the property involved and the details of the Conditional Use.

N/A NO SPECIAL CONDITIONS AND CIRCUMSTANCES.

2. Describe in specific detail why this Conditional Use **WILL NOT** adversely affect the health, safety or general welfare of adjacent property owners or neighbors. (Attach additional sheets, documentation, photographs and supporting information as necessary.)

- ALL ZONING & Set backs ARE BEING FOLLOWED PER ZONING GUIDELINES.

- This structure is being built to blend in with single family house. WHEN project is finished we want it to look like this has always been apart of the property all along.

SUBMITTAL CHECKLIST

- | | |
|--|---|
| <input type="checkbox"/> Legal Description / Deed | <input type="checkbox"/> Photos documenting requested use |
| <input type="checkbox"/> Plot Plan / Site Plan | <input type="checkbox"/> Date Filed _____ |
| <input type="checkbox"/> Detailed Building Plans | <input type="checkbox"/> Legal Ad _____ |
| <input type="checkbox"/> Property Owners within 500' | <input type="checkbox"/> Notices Sent _____ |
| <input type="checkbox"/> Application Fee | <input type="checkbox"/> Hearing Date _____ |

APPLICANT'S AFFIDAVIT

STATE OF OHIO
COUNTY OF FRANKLIN

I/We Tim Houston and Jeanette Houston
(Name)

1927 London Groveport Rd. Grove City, Ohio 43123 Home: _____
(Address) (City, State, Zip Code) (Phone)

Cell: 614.980.5850 Business: _____
(Phone) (Phone)

" the above named Owner / Applicant being duly sworn, depose and say that I/We are the owner(s) of the land included in the application and that the foregoing statement herein contained and attached, and information or attached exhibits thoroughly and to the best of my ability. By filing this application for Conditional Use, I/We do hereby grant permission to Jackson Township and its employees to enter upon my property and to observe, photograph and document all conditions observed therein and to post all application materials upon the Township's website for public information purposes."

Tim Houston

(Owner Signature)

Jeanette Houston

(Co-Owner Signature)

Subscribed and sworn before me this 6 day of December 2024
(Day) (Month) (Year)

Ricki Rossiter

(Notary Signature)



RICKI ROSSITER
Notary Public, State of Ohio
My Commission Expires:
October 11, 2027

ACTION BY TOWNSHIP

Application Received & Accepted by: _____ Date: _____

Hearing Date: _____ 7:00pm at the Jackson Township Hall, Grove City, Ohio



PROJECT STATUS

REVISED SITE PLAN

CURRENT ISSUE DATE

1.6.2025

PROJECT NO.

24028

REVISIONS

#	Description	Date

PROJECT INFORMATION

614 Soccer

Spartak Selimaj

1696 Dyer Rd.
Grove City, OH 43123



ELEVATION STUDIO

SHEET NAME

Concept Site Plan

SHEET NUMBER

A100

ZONING - EXCEPTIONAL USE DISTRICT (CONT'D)

SIGNAGE AND GRAPHICS

One freestanding graphic shall be allowed along the Dyer Road frontage. The total size of the sign shall not exceed fifty (50) square feet and shall not be any higher than ten (10) feet.

One building-mounted illuminated graphic shall be permitted on the existing structure. The total size of the sign shall not exceed fifty (50) square feet and shall not be any higher than ten (10) feet.

Directional signs for ingress and egress shall be permitted at the curb cuts on Dyer Road to direct traffic in and out of the site.

No off-premise graphic shall be permitted on site nor any illumination which flashes, travels, animates, or intermittently illuminates shall be allowed.

ENVIRONMENTAL TREATMENT:

The parking lot shall be landscaped along the eastern and southern edge with a variety of shrubs and other landscaping materials to produce a height of three (3) feet with a 60% opacity within two (2) years.

The screening and landscaping plan for the development of the site shall conform to the submitted drawings and such screening shall provide a buffer to the areas to the west, south, and east. All screen plantings shall be maintained permanently and any plant which does not survive shall be replaced within one year with material meeting the specifications of the original planting. Maintenance of the screening materials shall be the responsibility of the property owner and failure to replace and maintain the screening materials shall be a violation of the Jackson Township Zoning Code.

SITE PLAN

The property shall be used in accordance with the submitted site plan. The attached site plan illustrates the area where the building and parking areas will be located. This site plan may be slightly adjusted to reflect engineering, topographical or other site data developed at the time final development and engineering plans are completed. Any slight adjustment to the site plan shall be reviewed and approved by the Zoning Officer or his designee, upon submission of the appropriate data regarding the proposed adjustment. The general layout and site concept shall, however, conform to the site plan.

Parking requirements shall conform to those found in Section 531 of the Jackson Township Zoning Code.

BUILDING ELEVATIONS:

The new building shall conform to the submitted elevations.

STORMWATER DRAINAGE:

Drainage and run-off from the proposed development shall not cause property damage to off-site areas. All drainage improvements shall be designed in conformance with the requirements for the Franklin County Development Regulations. The new building(s) will be guttered and the down spouts will tie into a drainage system that routes the surface drainage into the catch basins located on the site. If necessary, additional catch basins will be located on the parking lot and sized to permit on-site detention in the parking areas and the provide for a gradual release of surface water into the new and existing catch basins.

The building will also conform to the requirements of the Franklin County development regulations and will utilize the detention basin used for stormwater drainage. The stormwater detention plan will accompany the site plan for detailing the methods to be used to handle stormwater drainage off the site.

SEWAGE DISPOSAL AND WATER SUPPLY:

Centralized water is available to serve the site and an existing onsite septic system will serve the various utilities permitted on the property.

POLLUTION:

Smoke: No smoke shall be emitted from any structure in the Exceptional Use District.

Noise: The noise level shall be no greater than eighty (80) decibels at the lot line.

Odor: No odorous gases or other odorous matter in any quantities as to be offensive at any point on or beyond the Exceptional Use District boundary.

ARCHITECTURAL DESIGN:

The building lot coverage shall not exceed 35% of the lot and parking lot coverage (excluding access drives) shall not exceed an additional 30% coverage for a total of 65% coverage of the site.

No outside storage shall be permitted on the site. No rubbish or debris of any kind shall be placed or permitted to accumulate on any portion of the lot.

All utilities shall be placed underground.

The proposed building(s) shall be constructed of steel and have a roof pitch of not more than 4:12.

GENERAL NOTES - SITE PLAN

- A. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
- B. All dimensions are from finished surface to finished surface, unless noted otherwise.
- C. Architectural site plan is provided to show the relationship of the architectural elements and to provide plan and detail key reference only.

BUILDING CODE NOTES

Occupancy Classification:

A-3 (includes assembly uses intended for worship, recreation or amusement).

- New Structure:
 - Construction Type: I-B
 - Primary structural frame: 2hr rated (intumescent paint or fireproofing)
 - Max. Height: 160'
 - Max Stories: 11
 - Max Area: 12,000 (NS - Not Sprinklered per 903.2.1.3)
 - Max. field size: 95x120
- Existing Structural shall be separated by 2hr fire wall
- Fire protection shall not be required (pending construction type) below 12,000sf.
- Occupancy: 50sf/person
- Restroom Fixture Requirements:
 - Existing WC: 3
 - Existing LAV: 2
 - New WC: 2
 - New LAV: 1

PARKING CALCULATIONS

EXISTING: 59 SPACES

PROPOSED: 60 SPACES

TOTAL: 119 SPACES

ZONING - EXCEPTIONAL USE DISTRICT

BACKGROUND:

The subject site is located on the north side of Dyer Road west of Brown Road. The site is surrounded by single-family residential land uses. The site incorporates approximately 10 acres and has one owner. The site has an existing 12,800 square foot building which houses indoor recreation activities. The site is zoned Exceptional Use. The applicant is requesting to amend the approved Exception Use zoning to permit expanded indoor recreational activities on the site. One (but potentially two) new 12,000sf square foot building(s) will be erected on the property to provide for indoor recreation activities.

PERMITTED USES:

Activities include: workout facilities or sports training, including but not limited to soccer training and practice, a clubhouse with retail space, indoor and outdoor seating with televisions and beverage service.

Food trucks shall be permitted on the parking lots as a temporary activity. Indoor activities shall operate seven (7) days a week starting at 7a.m. and on certain nights of the week will continue until midnight (on Friday and Saturdays) and 10p.m. on the other nights.

DEVELOPMENT STANDARDS:

Unless otherwise indicated in the submitted drawing or in the written text, the applicable standards for the site shall be those standards contained in Section 203 General Provisions of the Jackson Township Zoning Code.

LIGHTING:

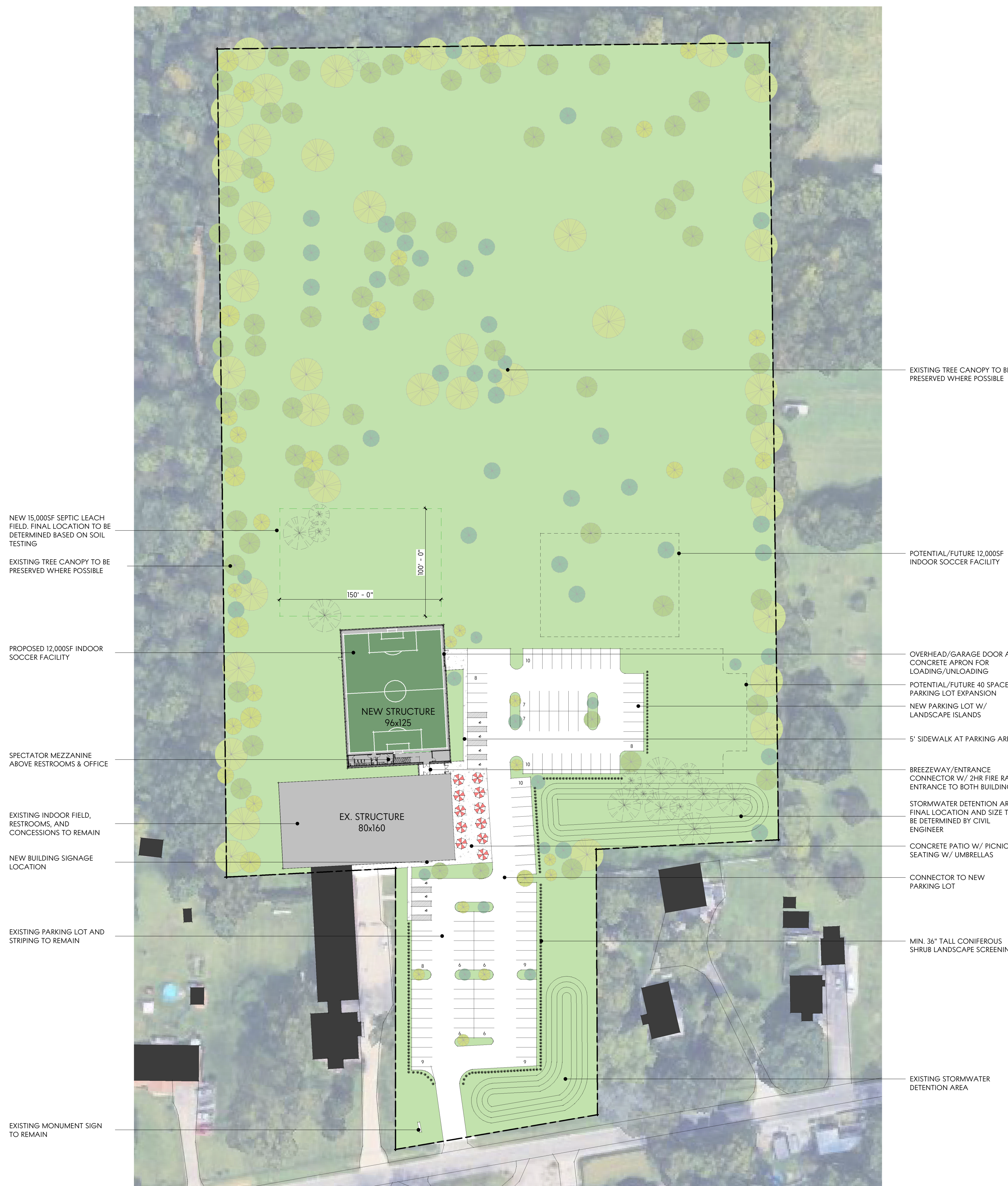
All new lighting on the subject property shall be cut-off type fixtures (down lighting) and limited to the building, soccer fields, patio, and parking area unless located for landscaping and security purposes.

All types of parking, building, and other exterior lighting to be on poles shall be from the same "family" from the same manufacturer's type and style.

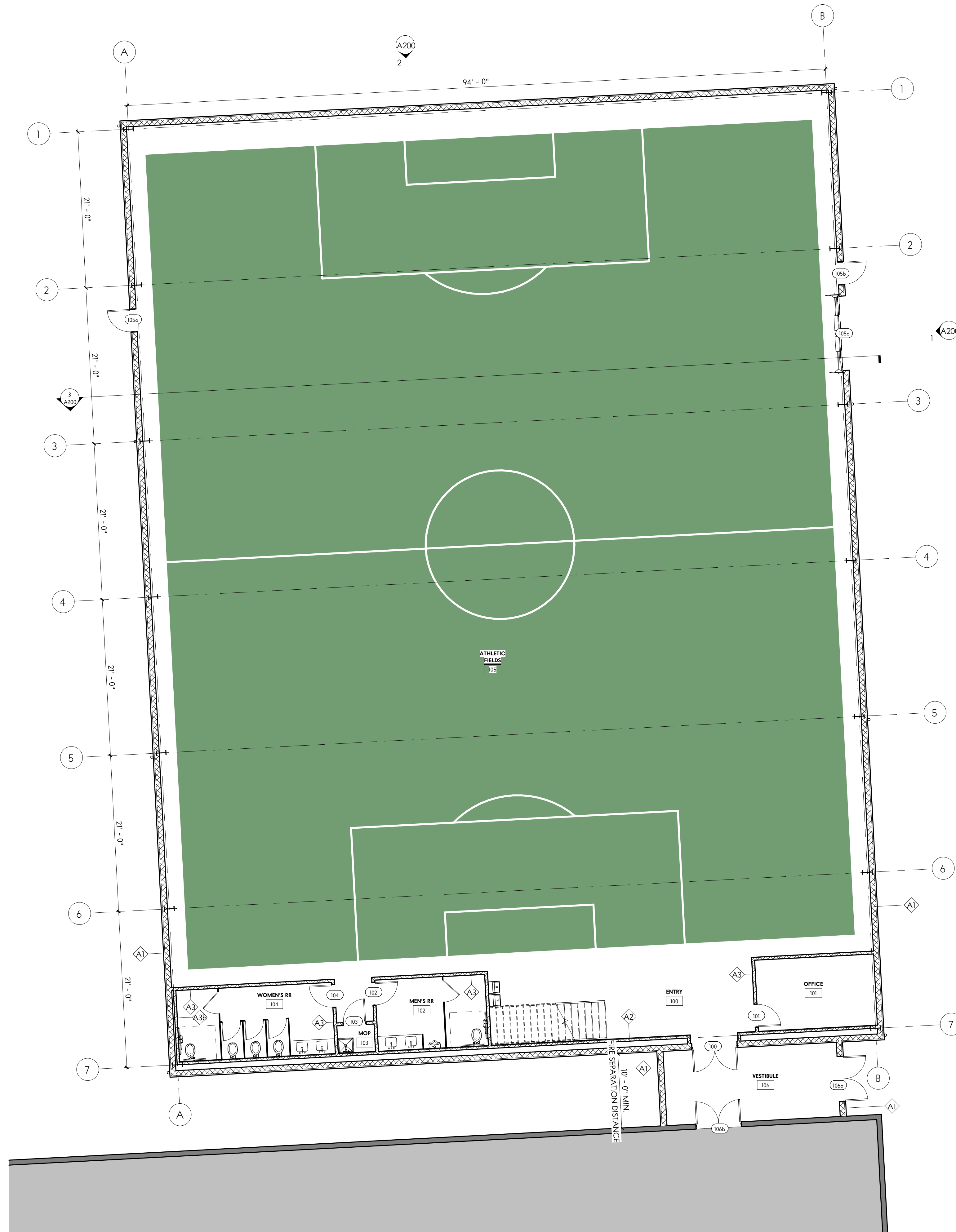
All lighting poles shall be either of wood or dark or bronze metal construction.

Parking lot lighting shall not exceed twelve (12) feet in height.

The exterior lighting for the site shall minimize off-site glare and reflection by utilizing screening, direction of lighting, height of lighting, wattage, and type of lighting.



SITE PLAN
Scale: 1" = 50'-0"



Architectural Plan
Scale: 1/8" = 1'-0"

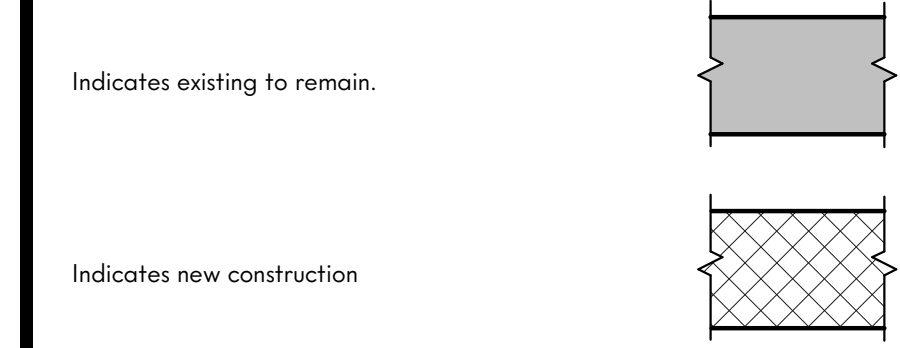
GENERAL NOTES - ARCHITECTURAL PLAN

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- B. All dimensions are from finished surface to finished surface, unless noted otherwise.

KEYNOTES - ARCHITECTURAL PLAN

- 1 TBD

LEGEND - ARCHITECTURAL PLAN



SCHEDULE - WALL TYPES

- A. All gypsum board in restrooms to be moisture resistant.
- B. Provide waterproof membrane at base of all restroom walls. Refer to typical base details.
- C. All soffits to match A3 unless noted otherwise.
- D. Runner track gauge to match stud.
- E. Confirm all stud selections using the stud height limitation chart below.
- F. Walls over 12'-0" high to be laterally braced with 1-1/2", 16Ga. channel clips anchored to metal studs.

MARK	SECTION	WIDTH	DESCRIPTION	TERMINATION
A1		4 7/8"	Metal siding over 8" girt by PEMB manufacturer. Fill cavity w/ 8" batt insulation	Refer to details
A2		4 7/8"	(2) layers 5/8" gypsum board on one face of 3 5/8", 20 gauge, metal studs at 16" on center. Diagonally brace studs to deck/structure 48" O.C. max. Infill stud cavity with batt insulation, typ. THR rated per UL V497	To deck
A3		4 7/8"	5/8" gypsum board on each face of 3 5/8", 20 gauge, metal studs at 16" on center. Diagonally brace studs to deck/structure 48" O.C. max. Infill stud cavity with batt insulation, typ.	Underside of Mezzanine
A3b		4 1/4"	5/8" gypsum board on one face of 3 5/8", 20 gauge, metal studs at 16" on center. Diagonally brace studs to deck/structure 48" O.C. max. Infill stud cavity with batt insulation, typ.	Underside of Mezzanine



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PROJECT INFORMATION

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1696 Dyer Rd.
Grove City, OH 43123



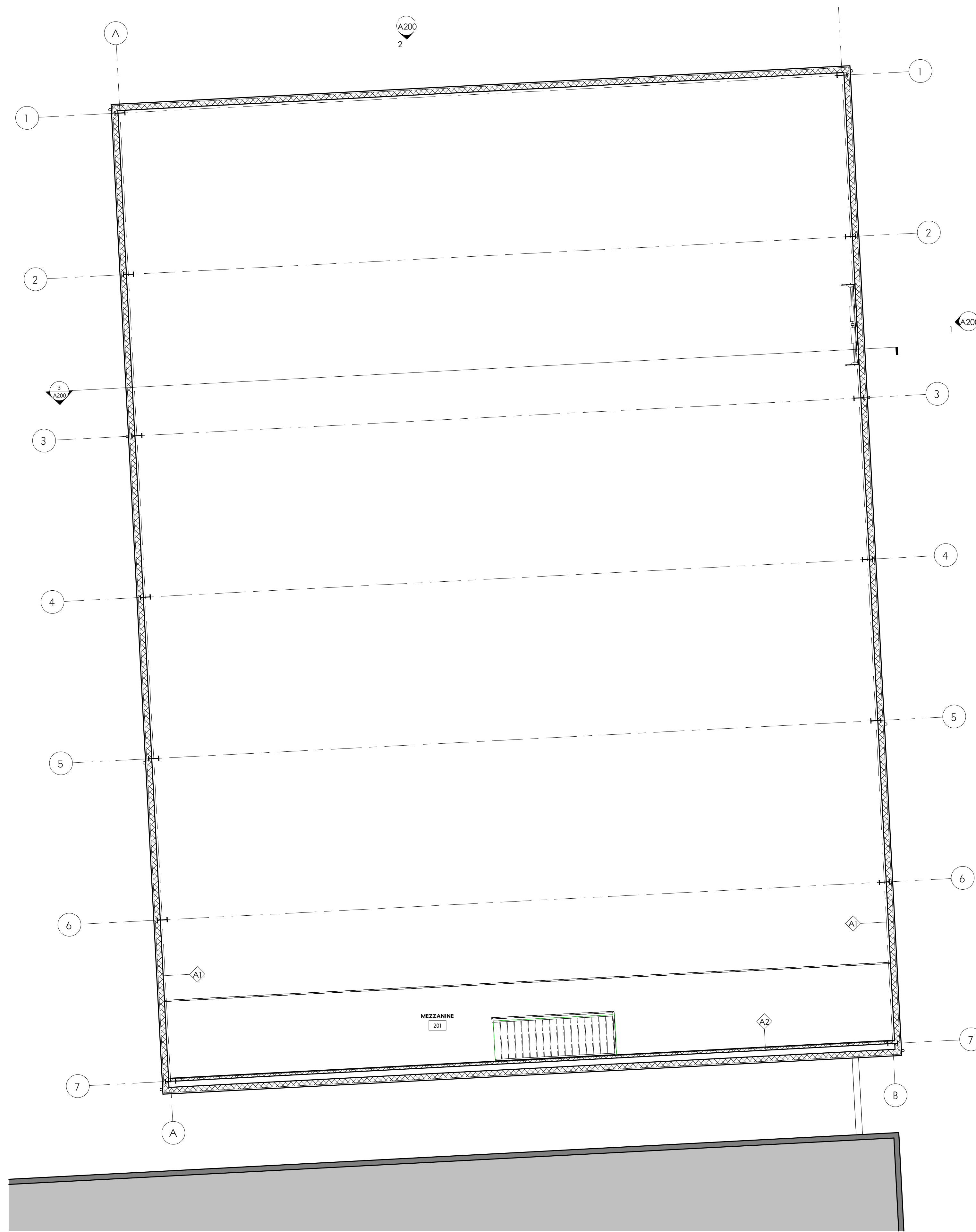
ELEVATION STUDIO

SHEET NAME

Architectural Plan

SHEET NUMBER

A101



Architectural Plan - Mezzanine
Scale: 1/8" = 1'-0"

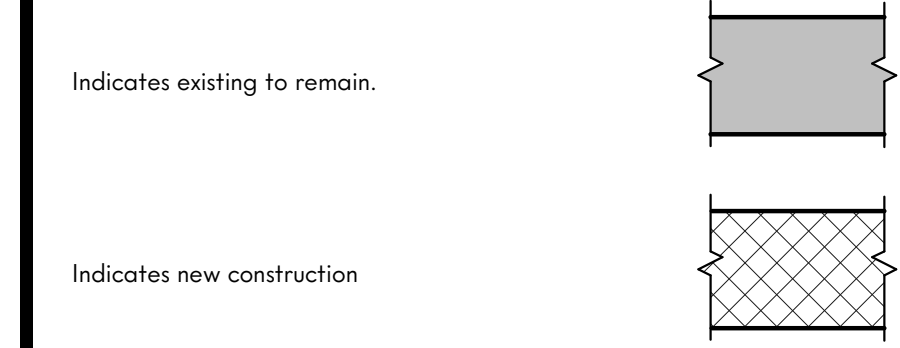
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1696 Dyer Rd.
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ELEVATION STUDIO

SHEET NAME

Architectural Plan - Mezzanine

SHEET NUMBER

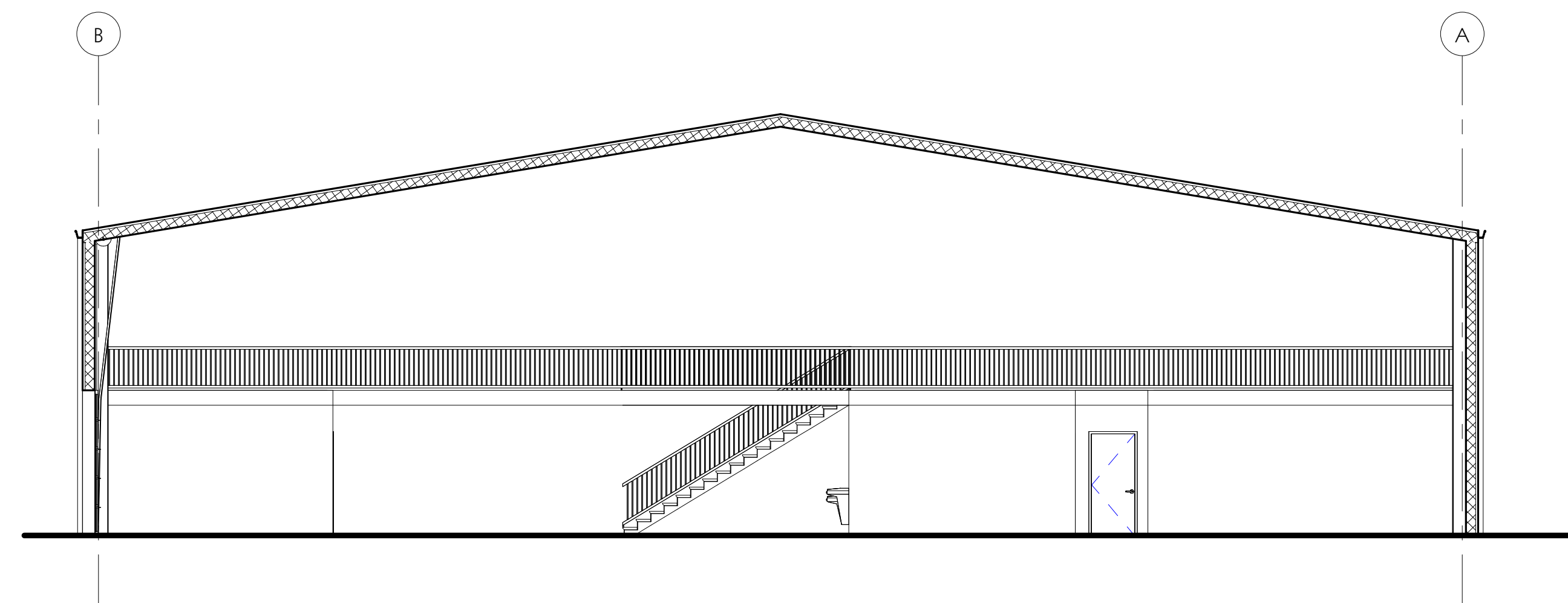
A102

GENERAL NOTES - EXTERIOR ELEVATIONS

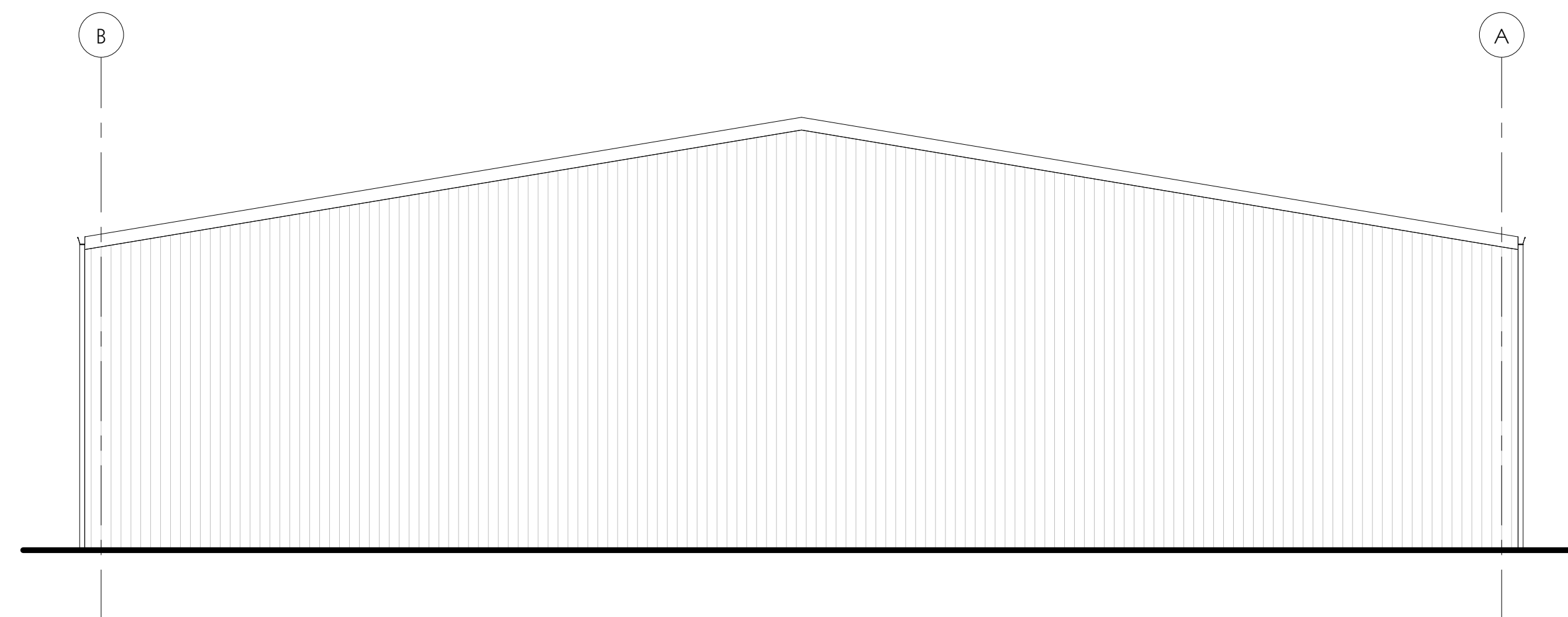
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KEYNOTES - EXTERIOR ELEVATIONS

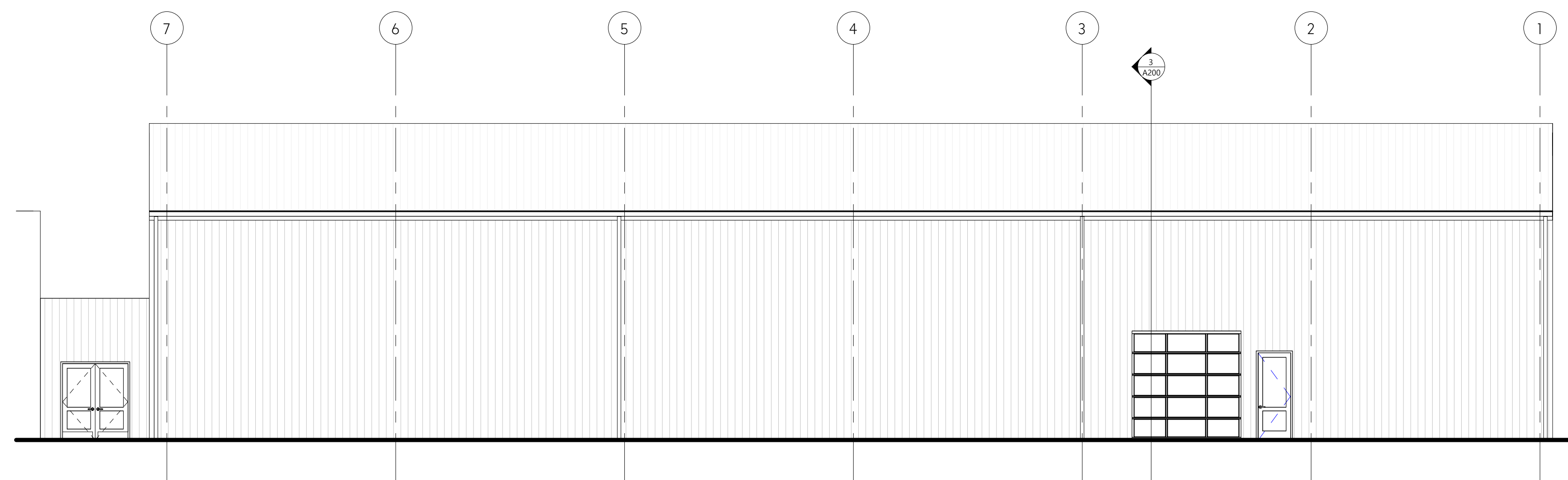
- 1 TBD



3 Building Section
Scale: 1/8" = 1'-0"



2 North Elevation
Scale: 1/8" = 1'-0"



1 East Elevation
Scale: 1/8" = 1'-0"



PROJECT STATUS

REVISED SITE PLAN

CURRENT ISSUE DATE

1.6.2025

PROJECT NO.

24028

REVISIONS

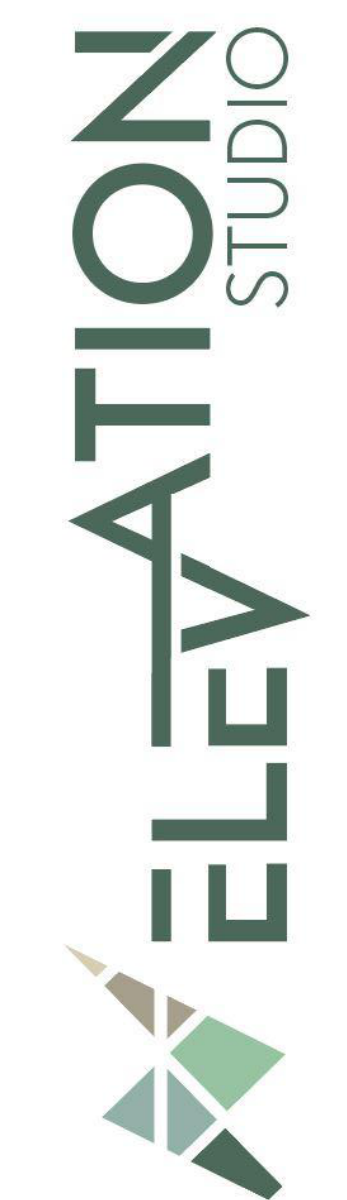
#	Description	Date

PROJECT INFORMATION

614 Soccer

Spartak Selimaj

1696 Dyer Rd.
Grove City, OH 43123

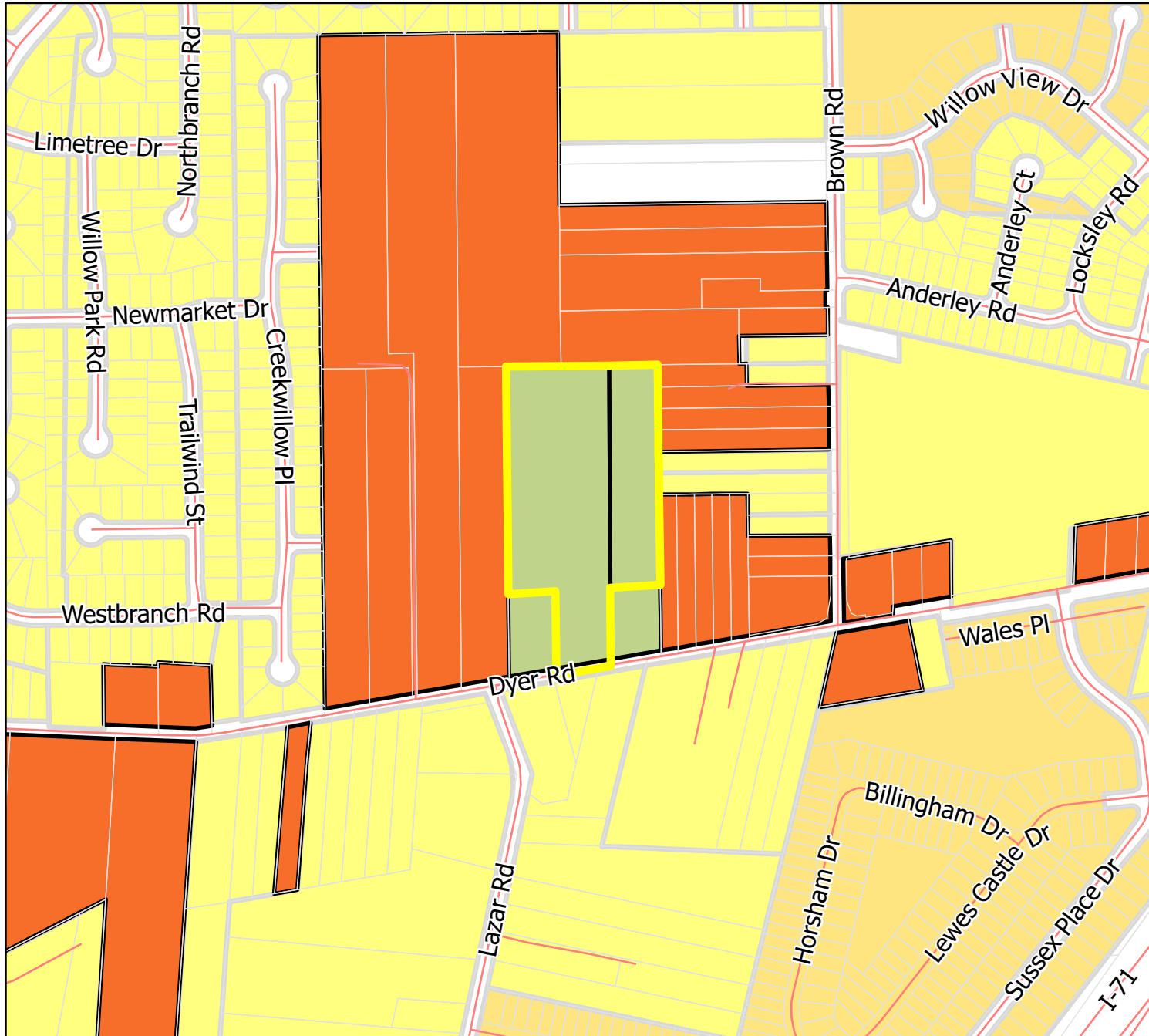


SHEET NAME

Elevations -
Exterior

SHEET NUMBER

A200

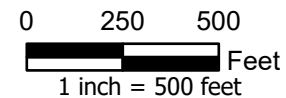
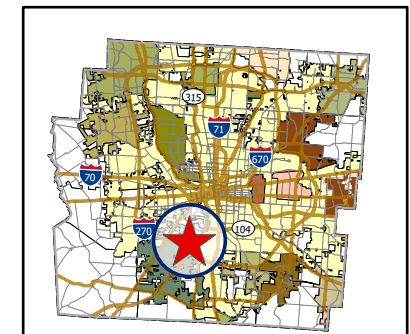


JACK-24-08

Request for Franklin County Planning Commission recommendation to Jackson Township Zoning Commission to modify a rezoning of a 10.05 acre Exceptional Use property from golfing to athletic soccer fields and an indoor soccer facility.

Acres: 10.05-acres
Township: Jackson

- Streets
- 1696 Dyer Rd
- Columbus Base Zoning Districts**
- Multi-family
- Residential
- Zoning - Jackson Twp**
- Z-EU
- Z-SR



City of Grove City

Richard L. "Ike" Stage, Mayor

Parcels (August 2023)

Tax Parcel

Original Lot Lines

Zoning - Jackson Twp

ACOS - Agri Conservation Open Space

CC - Community Cluster

CEM - Cemetary

CS - Community Service

EU - Exceptional Use

LI - Light Industrial

OI - Office/Institutional

PC - Planned Commercial

PI - Planned Industrial

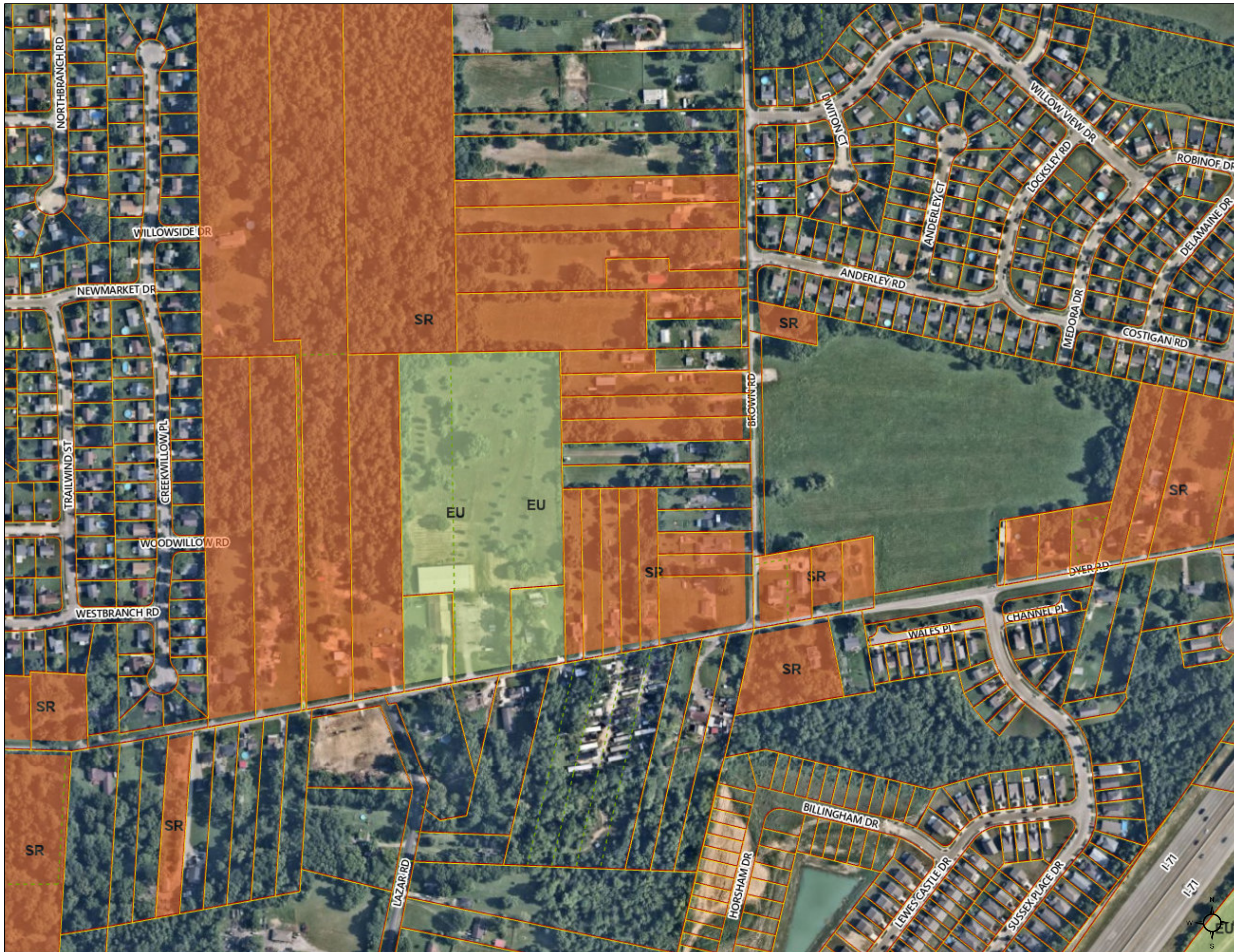
RR - Rural Residential

SR - Semi-Residential

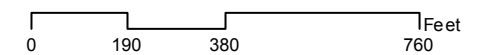
SURB - Suburban Residential

No Data

Roads (LBRS)



1 inch = 376 feet



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