



Jackson Township

Franklin County, Ohio

Zoning Commission

Rezoning **2-RZ-2024**
Applicant: Spartak Selmiaj
Property: 1696 Dyer Road, (parcel #160-000860)
Acreage: 10.05 acres
Utilities: Onsite Well and septic
Request: To amend Exceptional Use District

Background

- Franklin County Planning Commission recommended the Township approve the 2015 rezoning to the Exceptional Use (EU) district for the development of a golf course in May of 2015.
- Jackson Township approved rezoning from the Semi-Rural (SR) Residential district to the Exceptional Use (EU) district in 2015.
 - The approved permitted uses were:
 - Single Family residence
 - Exterior:
 - Year-round foot golf, weather permitting; Friday night glow-in-the-dark foot golf, Pro-Am tournaments, corporate outings, charitable functions
 - Food trucks are permitted as a temporary activity
 - The outdoor activities will operate seven (70 days a week starting at 6 a. m. and on certain nights of the week will continue until midnight (on Friday and Saturdays) and 8 p.m. on other nights.
 - Interior:
 - Workout facilities or sports training, including but not limited to soccer and baseball training and practice, a clubhouse with retail space indoor/outdoor seating with televisions and vending machines.
 - The indoor activities will operate seven (7) days a week starting at 6 a.m. and on certain nights of the week will continue until midnight.

Surrounding Zoning and Land Use

Direction	Zoning	Land Use
North	Suburban Residential (Jackson Twp.)	Single-Family Home; Vacant
East	Rural (Columbus); Suburban Residential (Jackson Twp.)	Single-Family Home
South	Rural (Columbus)	Manufactured Home Park; Single-Family Home
West	Suburban Residential (Jackson Twp.)	Single-Family Home

Comprehensive Plan

The Southwest Area Plan, a joint planning venture between the City of Columbus, Jackson Township and Franklin Township, was adopted in 2009, and makes future land use recommendations for the subject site and the surrounding area. According to the future land use map, the site and surrounding area are recommended to remain designated for semi-rural residential purposes.



Jackson Township Franklin County, Ohio Zoning Commission

It is also important to note that the Southwest Area Plan future land use map specifically recommends several areas for public parks and recreational areas such as playgrounds, sports fields and buildings commonly associated with the principal activity, including recreation centers.

The Jackson Township Comprehensive Plan (2011) also recommends semi-rural residential for the subject property. The Plan also highlights the public's interest in additional recreational facilities. According to the plan, approximately 75% of residents view recreational facilities as a positive aspect of living in the township and this type of development is consistent with Goal C of the plan. The plan recommends another nearby site, located along I-270, I-71, and Jackson Pike as an area for development of park space. That site is currently owned by the Franklin County Regional Solid Waste Management.

The proposed rezoning will not comply with the associated land use plans for the area.

Formal Technical Review

Franklin Soil and Water Conservation District

The Franklin Soil and Water Conservation District requested design details for all new playing fields. Information on grading, subsurface drainage, and type of turf (artificial or natural) were not provided. A stormwater report and a new post-construction operation and maintenance (O&M) plan that includes all stormwater control practices (existing and proposed) should be provided.

Franklin County Engineer

The Franklin County Engineer's Office requested the following:

- Development text pertaining to the current proposal to determine what changes to the site are occurring.
- Drainage improvements to comply with the Franklin County Stormwater Drainage Manual.
- Access study to be completed to assess the sight distance and whether turn lanes are needed at the access point.

Franklin County Planning Department

The submission lacks the development text and related detail in the development plan identifying the full extent of development associated with the proposed change of use. Details on lighting, landscaping, trash collection facilities, and utilities are missing. The development plan does not meet the standard dimensions for parking spaces dimension or internal parking lot landscaping requirements. Also, staff has concerns regarding potential negative light, noise, and traffic impacts to the surrounding properties. Furthermore, the submission did not address traffic, stormwater and noise impacts, or detail hours of operations.

Zoning District Requirements

The provisions of the General Development Standards of the Jackson Township Zoning Resolution shall apply to the Exceptional Use (EU) district. Due to the unique nature of such uses



Jackson Township Franklin County, Ohio Zoning Commission

and because their locations cannot be readily predetermined, more specific development standards cannot be set forth. Therefore, full usage of the development standards and other provisions of the zoning resolution shall be used as appropriate and detailed in a Development Plan. The Development Plan shall include the following in text or map form:

Development Plan

1. The proposed location and size of areas of use, indicating size, location and type of structure.
 - a. The development plan includes details of the proposed structures, fields, parking, and accessory development. Not included in the plan are details on stormwater drainage, signage, traffic, trash maintenance, lighting, and the type of landscaping proposed.
2. The proposed location, size and use of all open areas landscaped and other open space with suggested ownership of such area.
 - a. The development plan displays all open areas of the athletic fields, in addition to all landscaped open areas elsewhere on the site. Details on landscaping are limited and do not provide the information necessary to determine compliance with the regulations.
3. The proposed provision of water, sanitary sewer and surface drainage facilities including engineering feasibility studies.
 - a. The site receives public water service from the City of Columbus. An existing on-site septic system is available to manage wastewater. Upgrades to the system to accommodate additional site occupants will be reviewed and permitted by Franklin County Public Health. Stormwater is to be managed by an on-site detention pond which will require compliance with the Franklin County Stormwater Drainage Manual. Insufficient details are provided to determine compliance with these standards.
4. The proposed circulation pattern including streets, both public and private, parking areas, walks and other access ways including their relation to topography, existing streets and other evidence of reasonableness.
 - a. The site has a previously approved access from Dyer Road from Jackson Township. Additional parking facilities are proposed to accommodate patron use of the additional athletic fields. An additional pedestrian path is proposed adjacent to the extended open parking areas. Patrons will access playing fields over natural grass surrounding the fields.
 - b. Jackson Township Planning Department will confirm required parking is provided through their zoning compliance review. The required number of spaces have been provided on the plan; however, the spaces do not meet the minimum dimensional Township requirements of 10 ft. by 20 ft.



Jackson Township Franklin County, Ohio Zoning Commission

5. The proposed schedule of site development and construction of buildings and associated facilities including sketches or other documentation indicating design principles or concepts for site development, buildings, landscapes or other features. Such schedule shall include the use or redevelopment of existing features such as structures, streets, easements, utility lines and land use.
 - a. No development text has been provided to elaborate on the proposed rezoning and development. A development plan showing the location of the athletic fields and extension of the indoor facility has been included in submitted material. A schedule on the proposed development at the site, stormwater drainage plans, access impact study, or landscaping plans has not been provided to the Franklin County Planning Department.
6. The relationship of the proposed development to the existing and future land use in the surrounding area, the street system, community facilities, land services and other public improvements.
 - a. The request will not match the residential character of the surrounding area and the future land use recommendation of the Southwest Area Plan and Jackson Township Comprehensive Plan.
 - b. Both plans recommend for increased recreational facilities to serve the surrounding community. Parks and recreation for the township are predominantly available through Grove City's facilities concentrated to the south of I-270. Recreational facilities north of I-270 are located greater than 4 miles, by automobile transportation, from the subject site. This is similar for the public accessing athletic fields closest to the area. Several elementary schools are located northwest and southwest of the subject site which provides an identity of the makeup of residents surrounding the athletic fields.
 - c. The proposed use is a more intensive use than the approved golf course under the current zoning. Staff has concerns about potential noise, light, and traffic impacts on the surrounding properties.
7. Evidence that the applicant has sufficient control over the land to effectuate the proposed Development Plan within three (3) years. Such control includes property rights, economic resources and engineering feasibility as may be necessary.
 - a. The applicant has provided evidence of ownership. The engineering feasibility is to be approved by the Franklin County Engineer's Office. There is an assumption that the applicant has access to the economic resources necessary to implement the proposed uses.

Staff Analysis

Basis of Approval – Exceptional Use District

1. That the proposed development is consistent in all respects to the purpose intent and applicable standards of this Zoning Resolution (Jackson Township Zoning Resolution).
 - a. The EU district is intended to allow for uses not otherwise permitted in the Zoning



Jackson Township Franklin County, Ohio Zoning Commission

- Resolution inclusive of social, recreational, transportation, and other uses to service the public. Although the proposal is a recreational activity by definition, soccer is not specifically recognized by the zoning resolution similar to golf.
- b. Development details such as an access impact study, stormwater drainage plan, signage, lighting, landscaping types, and trash maintenance are not included in the submission. Staff is unable to determine whether the site's proposed use can functionally operate at the location without affecting the surrounding roadways and adjacent residential properties.
2. That the proposed development is in conformity with the Jackson Township Comprehensive Plan or a portion thereof as it may apply.
 - a. The proposed soccer fields and associated facility provides recreation access to the surrounding residential community. Both area plans highlight the need to maintain and provide additional park and recreational facilities to promote the health and social dynamics of the community. Marsh Run located south of the subject site and an open area located east of I-270 are the closest recommended land uses for recreation but are limited to passive recreation, public parks, and golfing. Both locations are undeveloped open space and are not functioning as an activity style park or recreational area.
 - b. The recommended land use for the area south of Hardy Parkway Street, west of I-71, and north of I-270 is predominantly residential. The rezoning of the site will not align with the recommended land use for the Southwest Area or Jackson Township plans.
 3. That the proposed development advances the general welfare of the Township and that the benefits to be derived from the proposed use justifies the change in the land use character of the area.
 - a. The surrounding character of the area can benefit from the proposed use; however, the welfare of the surrounding community is unable to be determined without sufficient development details.

Recommendation:

Staff recommends the Franklin County Planning Commission recommend denial of a rezoning modification of the subject property from the Exceptional Use (EU) District permitting recreational golf to the Exceptional Use (EU) District permitting an outdoor soccer field and an indoor soccer sports facility for the following reasons:

1. Sufficient stormwater management details and calculations have not been provided.
2. No information has been provided detailing hours of operations.
3. No traffic impact analysis has been provided.
4. Noise mitigation has not been addressed.
5. No lighting details have been provided.
6. No updates to the approved development text have been provided.
7. Inconsistency of the proposed use with approved comprehensive plans.
8. Buffering and screening against adjacent residential properties has not been provided.



Jackson Township Franklin County, Ohio Zoning Commission

Jackson Township Zoning Staff Recommendation

Jackson Township Zoning Staff agrees with the Franklin County Planning Commission Staff's concerns that additional information is needed. Staff feels the applicant can provide this information to clarify the issues raised.

Attachments:

- Rezoning Application
- Development Plan
- Zoning Map

Fee Paid by Cash / Check # _____, \$ _____

Application # 2-ZC-2024

ZONING COMMISSION APPLICATION

REQUEST FOR HEARING BEFORE ZONING COMMISSION

3756 Hoover Road Grove City, OH 43123 614-875-2742

Property Owner: CLAUDIA REALTY LLC Applicant: SPARTAK SELMIJAJ

Address: 1696 DYER RD Zoned: EU

Property Location: 1696 DYER RD

PID: 160-160-000860-00 Area/Acres: 10.05 Floodplain: _____

(Home): _____ (Work): _____ (Cell): 614-634-3304

Email Address: ALBAUTO@SBCGLOBAL.NET

Summary of Zoning Commission: *It is the responsibility of the Zoning Commission to review and recommend a change in how land is zoned as well as the specific regulations and requirements of the Township Zoning Resolution. It is the responsibility of applicants appearing before the Zoning Commission to have all required site plans, drawings, descriptions and all facts ready for public review and discussion. The schedule of required hearings may be extended by actions of continuance at any step in the procedures.*

To the Township Zoning Commission, the applicant requests the following:

- Re-Zoning / PUD
 Map/Text Amendment
 Exceptional Use

A change in zoning from the existing _____ District to the proposed _____ District

A change in use from the existing SIC _____ to the proposed SIC _____

General Description of the Request

Exceptional Use approval would need to be amended to reflect the addition of (4) turf fields, (2) sand volleyball courts, (1) additional 130'x96' structure, and additional parking

- Describe in specific detail the proposed request noting special and unique conditions of the proposed use. Attach development text as required.

Proposed plan includes the addition of (4) turf fields, (2) sand volleyball courts, (1) additional 130'x96' structure, and additional parking

APPLICANT'S AFFIDAVIT

STATE OF OHIO
COUNTY OF FRANKLIN

I/We Spaetok Seemaj
(Name)

1944 Arlington Ave Columbus OH 43212 Home: _____
(Address) (City, State, Zip Code) (Phone)

Cell: 614 634 3304 Business: 614 715 8881
(Phone) (Phone)

" the above named Owner / Applicant being duly sworn, depose and say that I/We are the owner(s) of the land included in the application and that the foregoing statement herein contained and attached, and information or attached exhibits thoroughly and to the best of my ability. By filing this application, I/We do hereby grant permission to Jackson Township and its employees to enter upon my property and to observe, photograph and document all conditions observed therein and to post all application materials upon the Township's website for public information purposes."

[Signature]
(Owner Signature)

(Co-Owner Signature)

Subscribed and sworn before me this 31 day of Oct 2024
(Day) (Month) (Year)



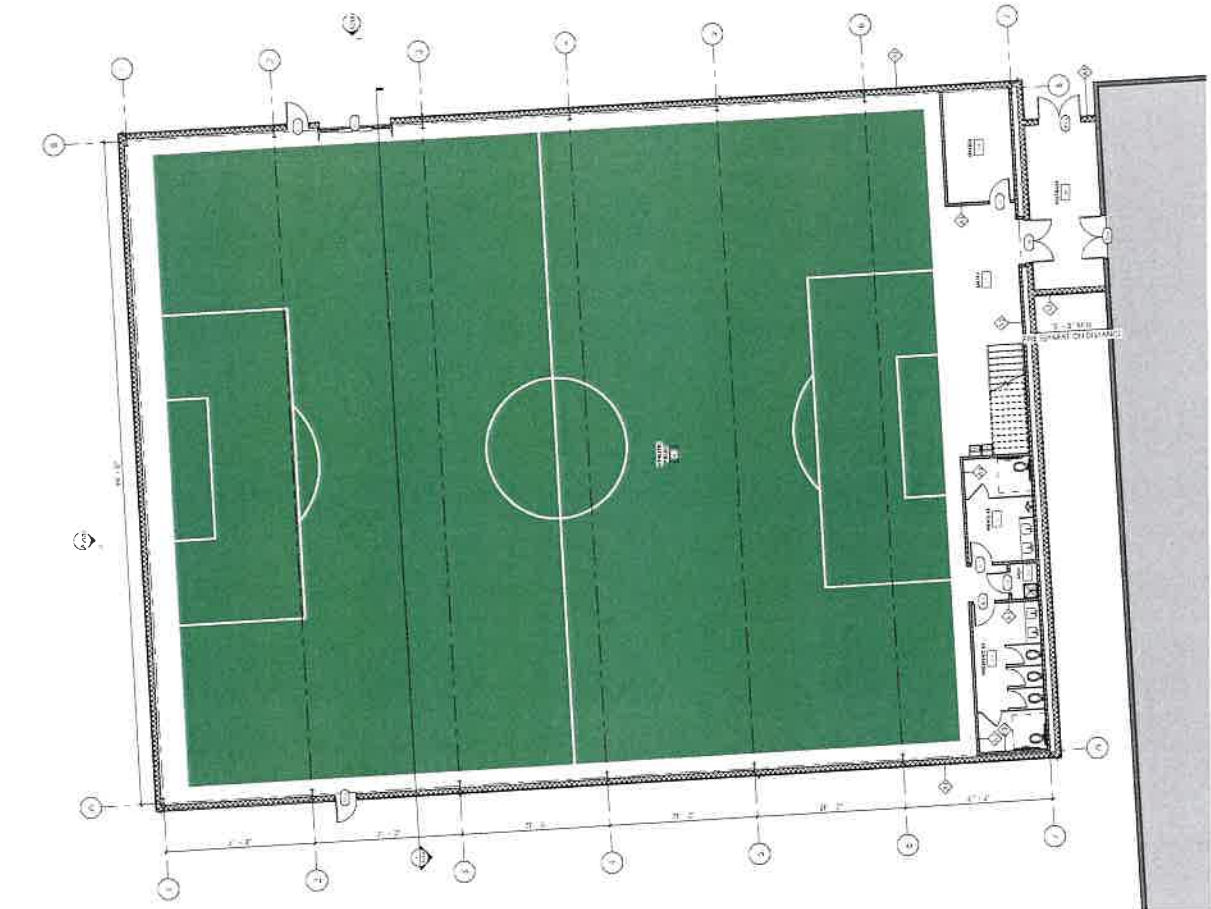
[Signature]
Josefina Y. Suriel-Perez
Notary Public, State of Ohio
My Commission Expires 08-25-2025
(Notary Signature)

Stamp or Seal

ACTION BY TOWNSHIP

Application Received & Accepted by: _____ Date: _____

Hearing Date: _____ 7:00pm at the Jackson Township Hall, Grove City, Ohio



Architectural Plan

GENERAL NOTES - ARCHITECTURAL PLAN

- A. Refer to drawings B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.

KEYNOTES - ARCHITECTURAL PLAN

- 1. 100

LEGEND - ARCHITECTURAL PLAN



SCHEDULE - WALL TYPES

- A. All walls shall be constructed in accordance with the schedule.
- B. All walls shall be constructed in accordance with the schedule.
- C. All walls shall be constructed in accordance with the schedule.
- D. All walls shall be constructed in accordance with the schedule.
- E. All walls shall be constructed in accordance with the schedule.
- F. All walls shall be constructed in accordance with the schedule.
- G. All walls shall be constructed in accordance with the schedule.
- H. All walls shall be constructed in accordance with the schedule.
- I. All walls shall be constructed in accordance with the schedule.
- J. All walls shall be constructed in accordance with the schedule.
- K. All walls shall be constructed in accordance with the schedule.
- L. All walls shall be constructed in accordance with the schedule.
- M. All walls shall be constructed in accordance with the schedule.
- N. All walls shall be constructed in accordance with the schedule.
- O. All walls shall be constructed in accordance with the schedule.
- P. All walls shall be constructed in accordance with the schedule.
- Q. All walls shall be constructed in accordance with the schedule.
- R. All walls shall be constructed in accordance with the schedule.
- S. All walls shall be constructed in accordance with the schedule.
- T. All walls shall be constructed in accordance with the schedule.
- U. All walls shall be constructed in accordance with the schedule.
- V. All walls shall be constructed in accordance with the schedule.
- W. All walls shall be constructed in accordance with the schedule.
- X. All walls shall be constructed in accordance with the schedule.
- Y. All walls shall be constructed in accordance with the schedule.
- Z. All walls shall be constructed in accordance with the schedule.

NAME	SECTION	NOTES / DESCRIPTION	REMARKS
W1	100	100mm thick concrete blockwork with 10mm plaster on both sides.	Refer to schedule
W2	100	100mm thick concrete blockwork with 10mm plaster on both sides.	Refer to schedule
W3	100	100mm thick concrete blockwork with 10mm plaster on both sides.	Refer to schedule
W4	100	100mm thick concrete blockwork with 10mm plaster on both sides.	Refer to schedule

PROJECT SHEET

REZONING SITE PLAN

COMPLIANCE SHEET

PROJECT NO: 1112024

DATE: 24/07/20

PROJECT INFORMATION

614 Soccer

Spartak Selimaj

1086 Dyer Rd

Greens City 3114-1212



SHEET NAME

Architectural Plan

SHEET NUMBER

A101

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GENERAL NOTES - ARCHITECTURAL PLAN

1. General Notes: Refer to the notes on the site plan and the zoning code for more information.
2. All dimensions are in feet and inches unless otherwise noted.

KEYNOTES - ARCHITECTURAL PLAN

1. Keynotes are used to identify specific areas of the plan.

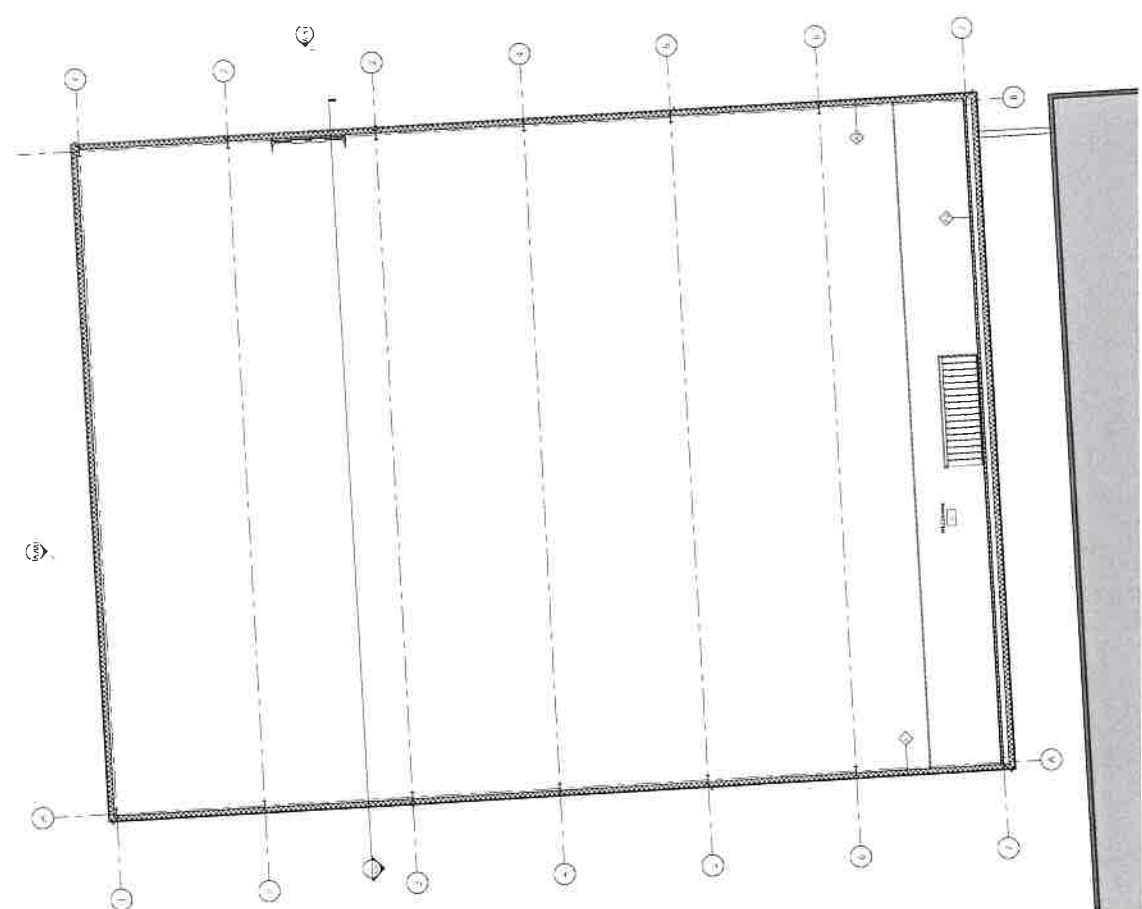
LEGEND - ARCHITECTURAL PLAN



SCHEDULE - WALL TYPES

1. All walls are to be constructed in accordance with the International Building Code (IBC) and the Ohio Building Code (OBC).
2. All walls are to be constructed with a minimum thickness of 8 inches.
3. All walls are to be constructed with a minimum height of 8 feet.
4. All walls are to be constructed with a minimum weight of 100 lbs per sq ft.
5. All walls are to be constructed with a minimum density of 100 lbs per cu ft.
6. All walls are to be constructed with a minimum compressive strength of 1500 psi.
7. All walls are to be constructed with a minimum modulus of rupture of 1500 psi.
8. All walls are to be constructed with a minimum modulus of elasticity of 2,000,000 psi.
9. All walls are to be constructed with a minimum modulus of resilience of 0.0001 in²/lb.
10. All walls are to be constructed with a minimum modulus of rupture of 1500 psi.
11. All walls are to be constructed with a minimum modulus of elasticity of 2,000,000 psi.
12. All walls are to be constructed with a minimum modulus of resilience of 0.0001 in²/lb.

NO.	SECTION	WALL DESCRIPTION	TERMINATION
1	1-1	8" CMU with 1/2" steel reinforcement	8" CMU block
2	2-2	8" CMU with 1/2" steel reinforcement	8" CMU block
3	3-3	8" CMU with 1/2" steel reinforcement	8" CMU block
4	4-4	8" CMU with 1/2" steel reinforcement	8" CMU block



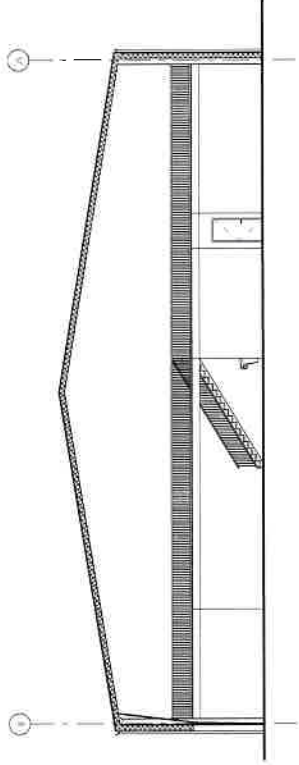
Architectural Plan - Mezzanine

GENERAL NOTES - EXTERIOR ELEVATIONS

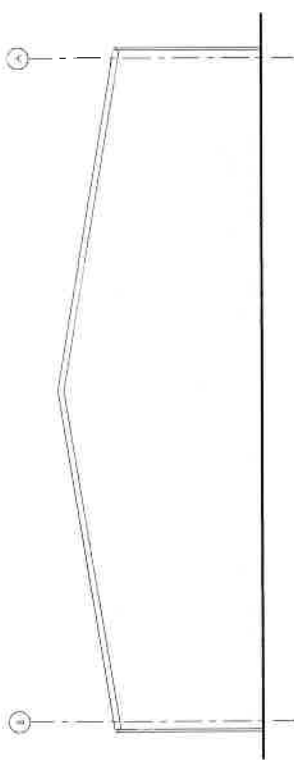
- A. Elevation drawings shall be prepared in accordance with the applicable standards of the International Building Code (IBC) and the International Mechanical Code (IMC).
- B. All dimensions shall be indicated by standard size dimension lines.

KEYNOTES - EXTERIOR ELEVATIONS

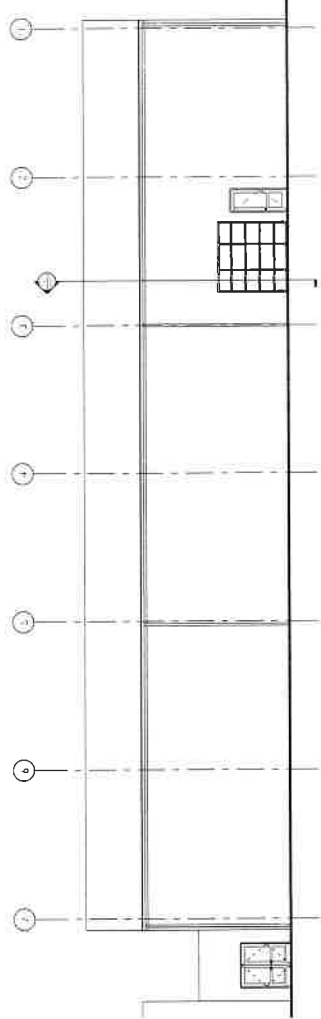
1/15



3 Building Section
1/16" = 1'-0"



2 North Elevation
1/16" = 1'-0"



1 East Elevation
1/16" = 1'-0"



PROJECT NAME
REZONING SITE PLAN

CLIENT/CLIENT DATE
11.1.2024

PROJECT NO.
24028

SYMBOLS

Description	Date

PROJECT INFORMATION

614 Soccer

Spartak Selimaj

1688 Pine Rd.
Browns City, OH 44123



SHEET NAME

Elevations - Exterior

SHEET NUMBER

A200

EXISTING TREE CANOPY TO BE PRESERVED WHERE POSSIBLE

16x16 PAVILION AND PICNIC SEATING W/ UMBRELLAS

20' 3-TIER BLEACHER SEATING, TYP.

EXISTING TREE CANOPY TO BE PRESERVED WHERE POSSIBLE

PROPOSED INDOOR SOCCER FACILITY. REFER TO OPTIONS AS INDICATED

EXISTING SEPTIC LEACH FIELD TO BE MODIFIED AS REQUIRED

SPECTATOR MEZZANINE ABOVE RESTROOMS & OFFICE

EXISTING INDOOR FIELD, RESTROOMS, AND CONCESSIONS TO REMAIN

EXISTING PARKING LOT AND STRIPING TO REMAIN



FULL-SIZE SOCCER FIELD, TYP. OF (2)

20' 3-TIER BLEACHER SEATING, TYP.

EXISTING TREE CANOPY TO BE PRESERVED WHERE POSSIBLE

U10-SIZE SOCCER FIELD/ WARM-UP & PRACTICE FIELDS, TYP. OF (2)

20' 3-TIER BLEACHER SEATING, TYP.

OVERHEAD/GARAGE DOOR AND CONCRETE APRON FOR LOADING/UNLOADING

NEW PARKING LOT W/ LANDSCAPE ISLANDS

5' SIDEWALK AT PARKING AREA

BREEZEWAY/ENTRANCE CONNECTOR W/ 2HR FIRE RATED ENTRANCE TO BOTH BUILDINGS

STORMWATER DETENTION AREA

CONCRETE PATIO W/ PICNIC SEATING W/ UMBRELLAS

CONNECTOR TO NEW PARKING LOT

EXISTING STORMWATER DETENTION AREA

GENERAL NOTES - SITE PLAN

- A. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
- B. All dimensions are from finished surface to finished surface, unless noted otherwise.
- C. Architectural site plan is provided to show the relationship of the architectural elements and to provide plan and detail key reference only.

PARKING CALCULATIONS

EXISTING: 59 SPACES
 PROPOSED: 104 SPACES
 TOTAL: 163

ZONING NOTES

Site Zoning: R: Exceptional Use District (EU)

1. Permitted Uses. Arboreta and botanical or zoological gardens Cemeteries Other Uses Not Provided For - Other legal uses of unique or exceptional requirements or circumstances that are otherwise not permitted by this Zoning Resolution. Recreation and Amusement - Amusement center, amusement park, skating rink, miniature golf, swimming pool, drive-in theater (except adults only entertainment establishments as defined in Ch. 102 and Ch. 204. Athletic field, stadium, race track or other similar sports facility not otherwise allowed by the provisions of this Zoning Resolution. Golf club, country club, fishing club or lake, gun club, riding stable, including boarding of animals, or similar recreational facility operated on an admission fee or membership basis. Resort establishment, park, camping or boating facilities, picnic grounds or similar recreational facility operated on an admission fee or membership basis.

BUILDING CODE NOTES

- Occupancy Classification:**
 A-3 (includes assembly uses intended for worship, recreation or amusement).
- **New Structure:**
 1. Construction Type: I-B
 2. Primary structural frame: 2hr rated (intumescent paint or fireproofing)
 3. Max. Height: 160'
 4. Max Stories: 11
 5. Max Area: 12,000 (NS - Not Sprinklered per 903.2.1.3)
 6. Max. field size: 95x120
 - Existing Structural shall be separated by 2hr fire wall
 - Fire protection shall not be required (pending construction type) below 12,000sf.
 - Occupancy: 50sf/person
 - Restroom Fixture Requirements:
 1. Existing WC: 3
 2. Existing LAV: 2
 3. New WC: 2
 4. New LAV: 1



PROJECT STATUS

REZONING SITE PLAN

CURRENT ISSUE DATE

11.1.2024

PROJECT NO.

24028

REVISIONS

#	Description	Date

PROJECT INFORMATION

614 Soccer
 Spartak Selimaj
 1696 Dyer Rd.
 Grove City, OH 43123



SHEET NAME

Concept Site Plan

SHEET NUMBER

A100



Architectural Plan
Scale: 1/8" = 1'-0"

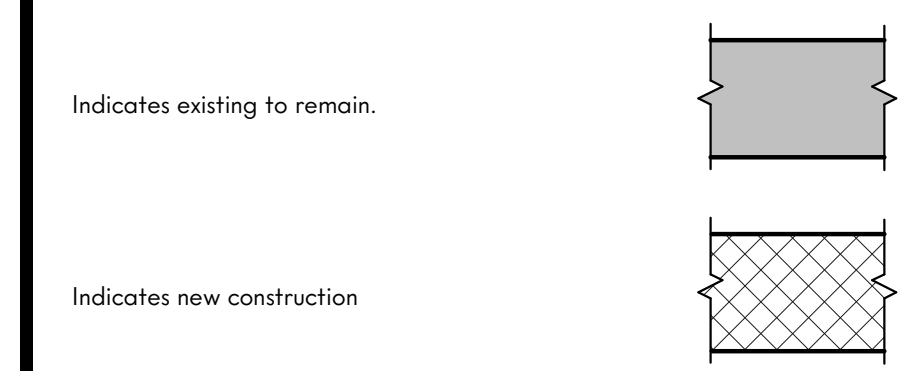
GENERAL NOTES - ARCHITECTURAL PLAN

- A. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
- B. All dimensions are from finished surface to finished surface, unless noted otherwise.

KEYNOTES - ARCHITECTURAL PLAN

- 1 TBD

LEGEND - ARCHITECTURAL PLAN



SCHEDULE - WALL TYPES

- A. All gypsum board in restrooms to be moisture resistant.
- B. Provide waterproof membrane at base of all restroom walls. Refer to typical base details.
- C. All soffits to match A3 unless noted otherwise.
- D. Runner track gauge to match stud.
- E. Confirm all stud selections using the stud height limitation chart below.
- F. Walls over 12'-0" high to be laterally braced with 1-1/2", 16Ga. channel clips anchored to metal studs.

MARK	SECTION	WIDTH	DESCRIPTION	TERMINATION
A1		4 7/8"	Metal siding over 8" girt by PEMB manufacturer. Fill cavity w/ 8" batt insulation	Refer to details
A2		4 7/8"	(2) layers 5/8" gypsum board on one face of 3 5/8", 20 gauge, metal studs at 16" on center. Diagonally brace studs to deck/structure 48" O.C. max. Infill stud cavity with batt insulation, typ. THR rated per UL V497	To deck
A3		4 7/8"	5/8" gypsum board on each face of 3 5/8", 20 gauge, metal studs at 16" on center. Diagonally brace studs to deck/structure 48" O.C. max. Infill stud cavity with batt insulation, typ.	Underside of Mezzanine
A3b		4 1/4"	5/8" gypsum board on one face of 3 5/8", 20 gauge, metal studs at 16" on center. Diagonally brace studs to deck/structure 48" O.C. max. Infill stud cavity with batt insulation, typ.	Underside of Mezzanine



PROJECT STATUS

REZONING SITE PLAN

CURRENT ISSUE DATE

11.1.2024

PROJECT NO.

24028

REVISIONS

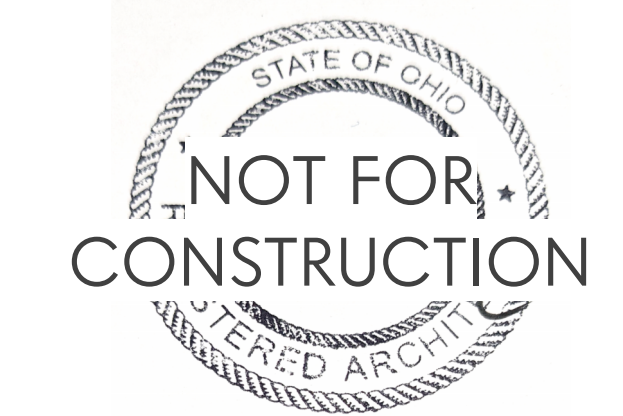
#	Description	Date

PROJECT INFORMATION

614 Soccer

Spartak Selimaj

1696 Dyer Rd.
Grove City, OH 43123



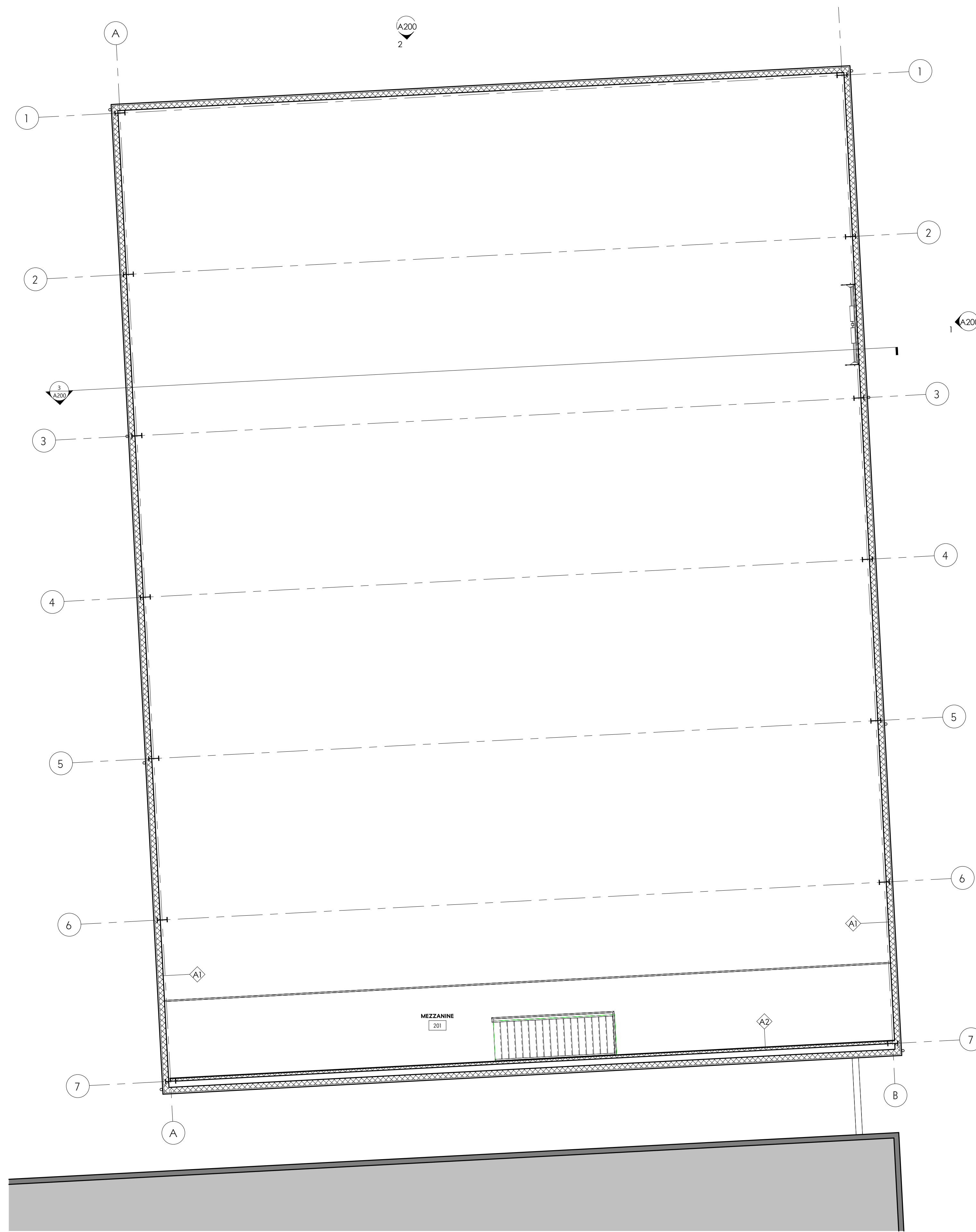
ELEVATION STUDIO

SHEET NAME

Architectural Plan

SHEET NUMBER

A101



Architectural Plan - Mezzanine
Scale: 1/8" = 1'-0"

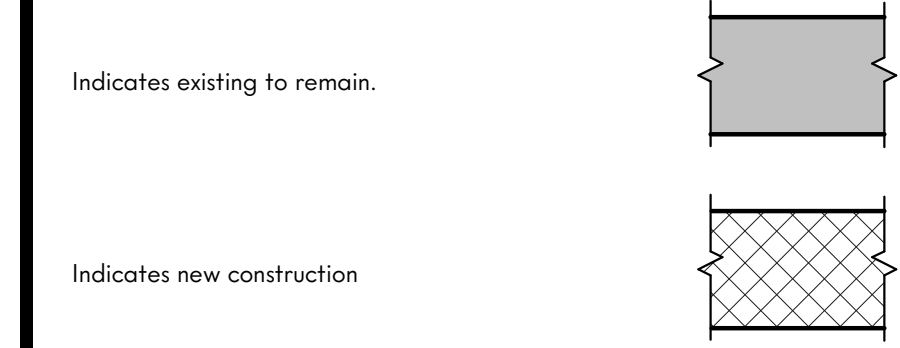
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KEYNOTES - ARCHITECTURAL PLAN

- 1 TBD

LEGEND - ARCHITECTURAL PLAN



SCHEDULE - WALL TYPES

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- F. Walls over 12'-0" high to be laterally braced with 1-1/2", 16Ga. channel clips anchored to metal studs.

MARK	SECTION	WIDTH	DESCRIPTION	TERMINATION
A1		4 7/8"	Metal siding over 8" girt by PEMB manufacturer. Fill cavity w/ 8" batt insulation	Refer to details
A2	1HR Rated	4 7/8"	(2) layers 5/8" gypsum board on one face of 3 5/8", 20 gauge, metal studs at 16" on center. Diagonally brace studs to deck/structure 48" O.C. max. Infill stud cavity with batt insulation, typ. THR rated per UL V497	To deck
A3		4 7/8"	5/8" gypsum board on each face of 3 5/8", 20 gauge, metal studs at 16" on center. Diagonally brace studs to deck/structure 48" O.C. max. Infill stud cavity with batt insulation, typ.	Underside of Mezzanine
A3b		4 1/4"	5/8" gypsum board on one face of 3 5/8", 20 gauge, metal studs at 16" on center. Diagonally brace studs to deck/structure 48" O.C. max. Infill stud cavity with batt insulation, typ.	Underside of Mezzanine



PROJECT STATUS

REZONING SITE PLAN

CURRENT ISSUE DATE

11.1.2024

PROJECT NO.

24028

REVISIONS

#	Description	Date

PROJECT INFORMATION

614 Soccer

Spartak Selimaj

1696 Dyer Rd.
Grove City, OH 43123



ELEVATION STUDIO

SHEET NAME

Architectural Plan - Mezzanine

SHEET NUMBER

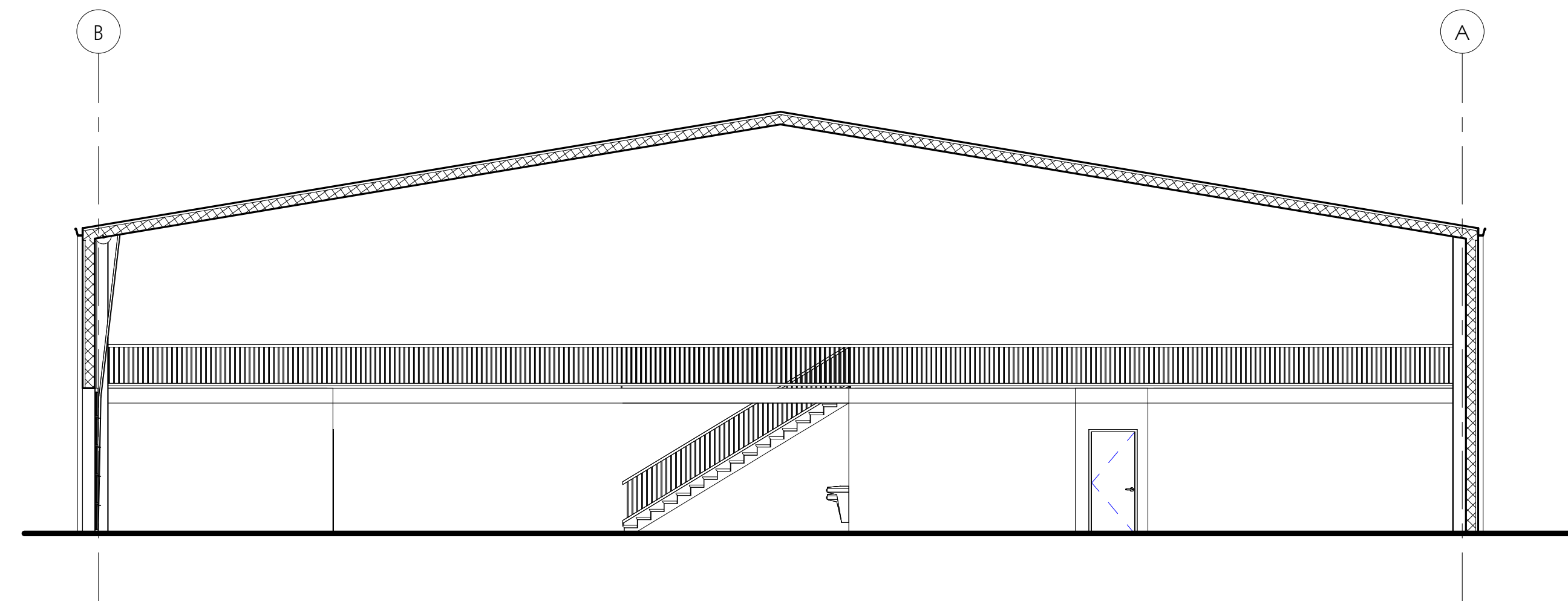
A102

GENERAL NOTES - EXTERIOR ELEVATIONS

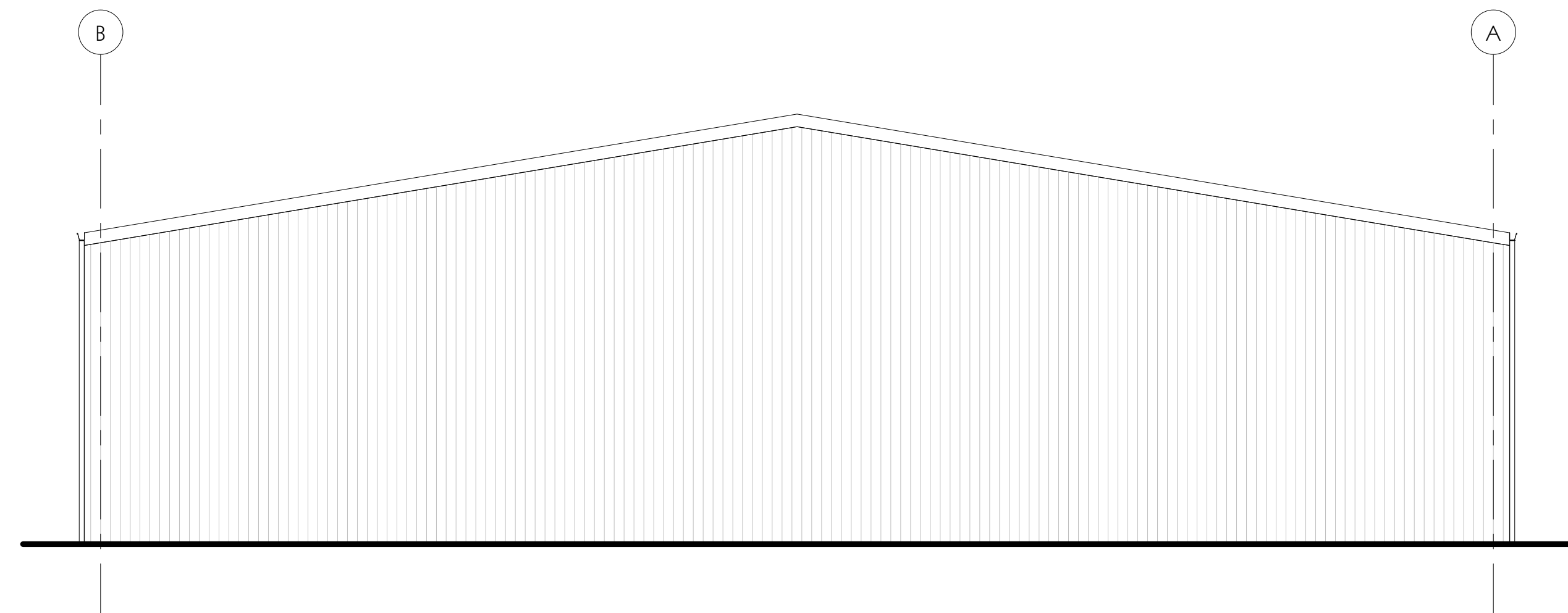
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KEYNOTES - EXTERIOR ELEVATIONS

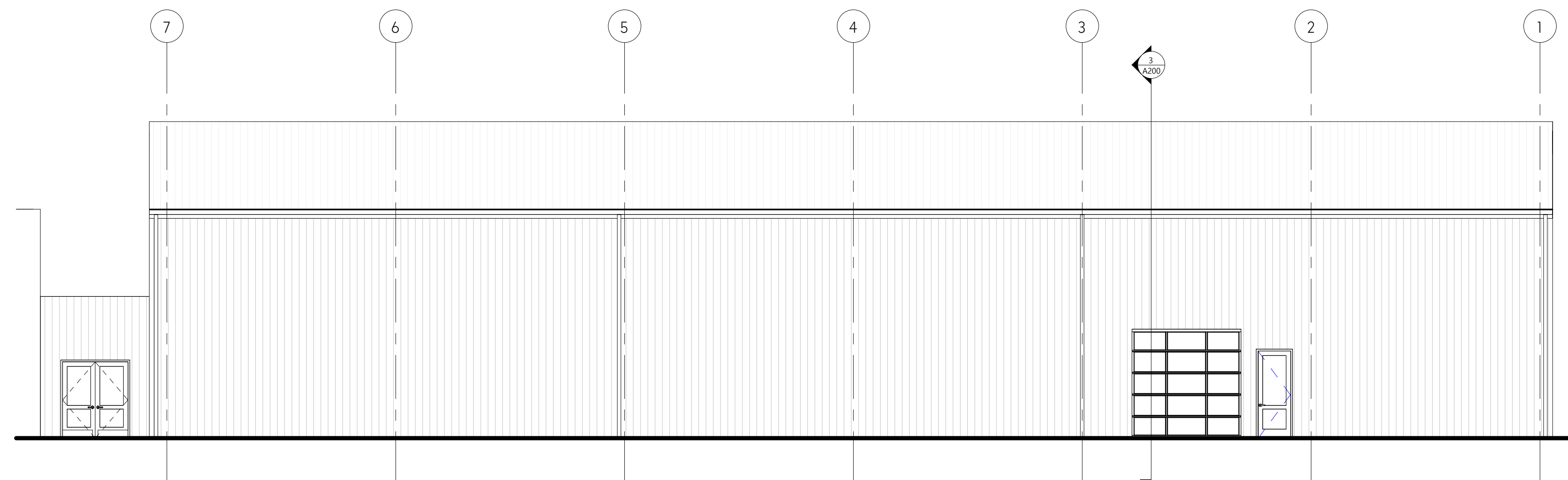
- 1 TBD



3 Building Section
Scale: 1/8" = 1'-0"



2 North Elevation
Scale: 1/8" = 1'-0"



1 East Elevation
Scale: 1/8" = 1'-0"



PROJECT STATUS

REZONING SITE PLAN

CURRENT ISSUE DATE

11.1.2024

PROJECT NO.

24028

REVISIONS

#	Description	Date

PROJECT INFORMATION

614 Soccer

Spartak Selimaj

1696 Dyer Rd.
Grove City, OH 43123



ELEVATION STUDIO

SHEET NAME

Elevations -
Exterior

SHEET NUMBER

A200

City of Grove City

Richard L. "Ike" Stage, Mayor

Parcels (August 2023)

Tax Parcel

Original Lot Lines

Zoning - Jackson Twp

ACOS - Agri Conservation Open Space

CC - Community Cluster

CEM - Cemetary

CS - Community Service

EU - Exceptional Use

LI - Light Industrial

OI - Office/Institutional

PC - Planned Commercial

PI - Planned Industrial

RR - Rural Residential

SR - Semi-Residential

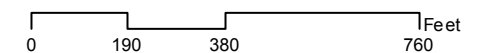
SURB - Suburban Residential

No Data

Roads (LBRS)



1 inch = 376 feet



This map was generated by Grove City's ArcGIS Online web mapping site.

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